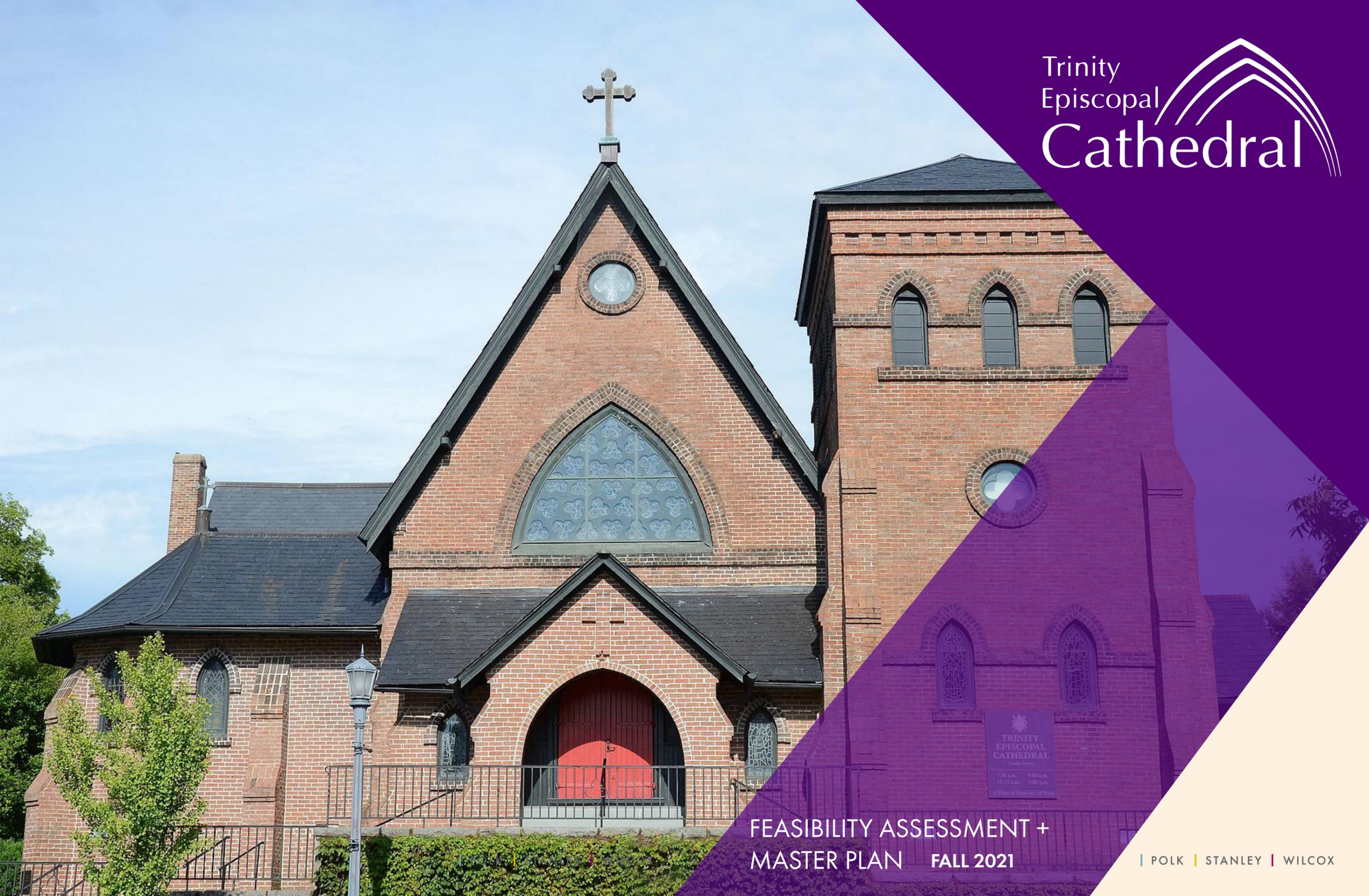




Trinity
Episcopal
Cathedral



FEASIBILITY ASSESSMENT +
MASTER PLAN FALL 2021

| POLK | STANLEY | WILCOX

FROM THE DEAN:



The west end of Trinity Episcopal Cathedral opened for services on October 18, 1884. The Missionary Bishop of Arkansas and the Indian Territory, Henry Niles Pierce, had dreamed of this day. Bishop Pierce hoped the Cathedral would strengthen and coordinate the efforts of the church.

A lot has changed since that day in 1884. The Cathedral, itself, has grown including the east facing alter and chapel. Beyond the Cathedral is the Parish, the members who steward and conduct the ministry of the Cathedral. The Parish now includes property in three locations. Parish House, Morrison Hall, Keller House, Mitchell House, Chancellor's Hall, Treadway Garden and Lyman Annex are all immediately adjacent to the Cathedral. Across Spring Street, we have buildings called Harrison, Higgins, and Hodges. Then, to the North of the block, off of 16th Street, we have a playground and Bosford House. I wonder if Bishop Pierce could have imagined the Cathedral would have a robust ministry of Catechesis Education, Music and Liturgy, and Early Childhood Education in the parish. Surely, he hoped the Cathedral would be partners and collaborators with the Bishop of Arkansas. I am confident he desired the Cathedral to be in ministry with its neighbors.

One of the primary reasons I accepted the call as Dean and Rector of the Cathedral is the exciting opportunity our properties represent. It is true that they need our attention. When we value the spaces where people gather for ministry, ministers know they are valued. For this reason, it is important to update bathrooms, offices, kitchens, and classrooms. Yet, there's something more happening within us than the updating of spaces. The Cathedral hears a call to partner with our Diocese, Community, and parish ministries to reach beyond ourselves. We wonder how the resources of our space can be offered to our partners in ministry.

I am so grateful that Polk, Stanley, Wilcox partnered with us to explore the ways our property and ministry intersect. Their hard work evaluating our property, listening to our ministry leaders, and imagining how we can be more accessible has produced an exciting vision for our future. I feel excited to prioritize our ministry with children, youth and families in all aspects of our life together. I look forward to opportunities to resource and collaborate with our Diocesan and Community partners. Polk, Stanley, Wilcox has given us a vision to carry on the ministry of Bishop Pierce: empowering us to strengthen and coordinate the efforts of the church in Arkansas.

The years ahead will be full of discernment and hard work as we listen closely for God's call to us. We are blessed with a wide range of property, and faithful and generous members. Together, we have an incredible opportunity to enhance ministry for our congregation, community, and Diocese.

May God's wisdom guide us. May Jesus Christ lead us. May the Holy Spirit inspire us.

Yours in Christ,
The Very Reverend Amy Dafler Meaux

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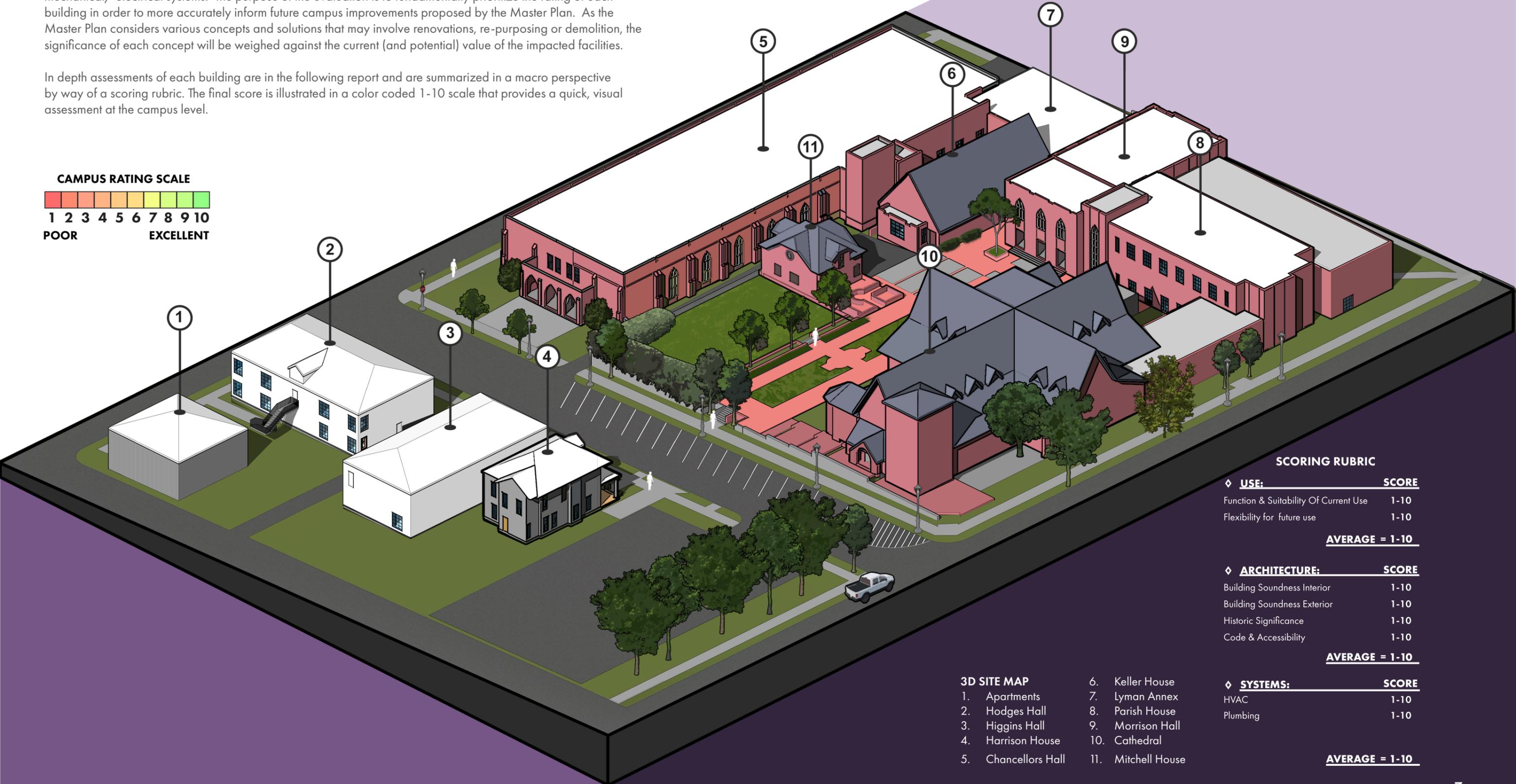
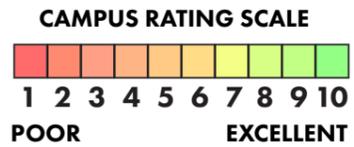
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ASSESSMENT

ASSESSMENT

In order to inform the master plan, a comprehensive analysis of the Trinity campus and each individual building was undertaken to serve as the basis of decision making throughout the campus master plan. The assessment considers each building's condition in relation to its existing function/ suitability, its architectural value and the state of the mechanical/ electrical systems. The purpose of the evaluation is to fundamentally prioritize the rating of each building in order to more accurately inform future campus improvements proposed by the Master Plan. As the Master Plan considers various concepts and solutions that may involve renovations, re-purposing or demolition, the significance of each concept will be weighed against the current (and potential) value of the impacted facilities.

In depth assessments of each building are in the following report and are summarized in a macro perspective by way of a scoring rubric. The final score is illustrated in a color coded 1-10 scale that provides a quick, visual assessment at the campus level.



- 3D SITE MAP**
- 1. Apartments
 - 2. Hodges Hall
 - 3. Higgins Hall
 - 4. Harrison House
 - 5. Chancellors Hall
 - 6. Keller House
 - 7. Lyman Annex
 - 8. Parish House
 - 9. Morrison Hall
 - 10. Cathedral
 - 11. Mitchell House

SCORING RUBRIC

USE:	SCORE
Function & Suitability Of Current Use	1-10
Flexibility for future use	1-10
AVERAGE = 1-10	

ARCHITECTURE:	SCORE
Building Soundness Interior	1-10
Building Soundness Exterior	1-10
Historic Significance	1-10
Code & Accessibility	1-10
AVERAGE = 1-10	

SYSTEMS:	SCORE
HVAC	1-10
Plumbing	1-10
AVERAGE = 1-10	

HARRISON HOUSE



Harrison House is a two story home located on Spring St. directly across from the campus proper. The house has many details representative of the colonial revival American Foursquare style, such as the hipped roof and single dormer, the large porch with offset entry and the four room layout on each floor. Harrison house is approximately 2,580 SF with 4 bedrooms , 3 bathrooms, foyer, parlor, dining, study and kitchen; however for many years it has been used as office space. The house also has a walk- up attic and a basement level that is accessible from the backyard.

Interior:

The interior of Harrison house presented a moderate level of deferred maintenance and some significant renovation needs. Maintenance issues to be addressed include plaster damage or cracks in the walls and ceilings of several rooms. Some of these can be attributed to water damage that occurred before the roof was replaced in 2019. One ceiling crack observed in the stairwell could be attributed to settling, and a structural engineer should be referred to in this case. The house still has all of its original hardwood floors, however there are areas on the first floor in particular where they need to be refinished. All of the original wood single hung windows are still in place on the house, which is a feature that typically increases historic

value. However in Harrison House, they are painted shut and/ or the pulley systems are broken, making them inoperable.

The kitchen and all bathrooms in their current state are unusable and in need of complete renovation. In the kitchen there is one wall cupboard that may be original to the house which could be saved for its historic value. Otherwise all other cabinetry, counter tops and appliances should be replaced. It is the architect’s opinion that only one of the three bathrooms is original to the house due to its period fixtures and wainscoting. The other two restrooms appear to be poorly executed remodels. None of the three bathrooms are ADA compliant.

Despite the significant need for interior renovations, there are many historic details still intact in the home. The house still has its original staircase and rail along with a decorative leaded glass window at the landing. All the original interior doors, transoms, hardware and trim are still intact, along with all of the original baseboards and picture molding. There is one original fireplace mantel in the parlor. The house does have a commercial fire alarm system including smoke detectors, fire strobes and alarm pull(s), making it suitable for business occupancies.

Exterior:

The exterior of Harrison house can be described as a wood frame structure with painted wood siding and trim and an asphalt shingle roof. The house has deep overhangs with integral gutters leading to painted round metal downspouts. The exterior of the house is considered to be in good condition due to recent painting in 2020 and a roof replacement in 2019. There was no evidence of rot or damage observed on the exterior. Generally, all exterior architectural features have been preserved except for the front porch column capitals and the front door. The metal storm windows distract from the architectural composition of the home, but are considered to be an acceptable means of energy efficiency and historic window preservation. The ramp should be replaced in order to be ADA compliant.

Systems:

The HVAC system serving Harrison house is a split system with two exterior condensing units (2007) and a basement furnace XXXX. This is considered to be sound equipment with no major maintenance issues.

Plumbing: Water and drain lines have been replaced within the last five years.



Harrison House Bathroom

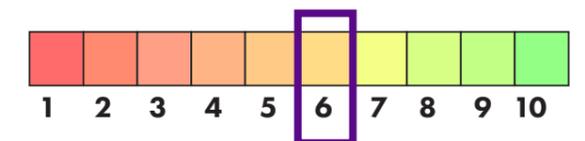


Harrison House Kitchen

USE:	SCORE
Function & Suitability Of Current Use	0
Flexibility for future use	5
AVERAGE = 3	

ARCHITECTURE:	SCORE
Building Soundness Interior	5
Building Soundness Exterior	9
Historic Significance	10
Code & Accessibility	4
AVERAGE = 7	

SYSTEMS:	SCORE
HVAC	8
Plumbing	5
AVERAGE = 6.5	



CHANCELLORS' HALL



Chancellors' Hall is two story brick on masonry wall building located at the northwest corner of the campus. This building was built was designed to compliment the gothic revival cathedral with details such as tall gothic arched windows and an arched colonnade at the entry. The entry door repeats the red, gothic arch double door of the cathedral (which is also a signature detail of many episcopal churches). In addition, the exterior brick pilasters that encase the downspouts are reminiscent of the buttresses on the exterior of the cathedral. In 1998 an addition was made onto the second floor east end of the building. This added what is now the Bishop's Office.

Before continuing with the detailed assessment of this building, it is important to note that the architect was made aware that, shortly after this building was constructed, an abandoned underground pipe running below the NW corner of the building collapsed. This caused significant settling of that corner of the building. Evidence of this can be seen on the interior masonry walls in the stairwell and in the gym. At the time of this occurrence, the settling was observed by professionals and it was determined that the structure was stable.

Interior (West Portion)

The entry lobby and mens and womens restrooms on each side of the lobby are in good shape. Both restrooms have an ADA stall. Other than the fact that they are dated, the floor and wall tile, toilet fixtures and the stalls are good condition. However, the counters and sinks are in need of replacement. The classroom above this entry would need some clean up and maintenance before it could be used. While it does have new carpet, the mill work and marker boards need replacement. Stray data and electrical wiring needs to be managed, and significant clean up is needed. The gymnasium is in need of moderate to significant renovation, including new paint, new acoustical ceiling tile, cleaning of all air registers and new flooring. At one location on the north wall of the gym, significant water damage was observed. In addition, Carpeted gym flooring is no longer used. If this space is to continue use as a gymnasium, there

are more modern materials such as a poured rubber flooring system or a wood floor. In this portion of the building it appears there the appropriate number of exits with door panic hardware. The building is equipped with a fire alarm system, but is not sprinklered.



Chancellor's Hall Gymnasium

Interior (East Portion)

Continuing east on the first floor there is the commercial kitchen, cafeteria and a set of boys and girls gym restroom/ showers off the corridor. Both of these restrooms are in need of significant renovation. A total replacement of all plumbing fixtures, counter tops and mirrors is recommended. The kitchen is still fully functional and the vent hood is serviced yearly, however the walk in cooler/ freezer is currently not working. Again, while flooring, ceiling and walls may be dated they do not exhibit any damage. Additionally, the cafeteria and other ancillary rooms have all been well maintained.

The second floor of Chancellors' Hall consists of both the parish offices and the Bishop's offices. All of these spaces have been well maintained over the years. Lite renovation is recommended in the restrooms, and because none of the restrooms observed on this floor were ADA accessible, it is recommended that one unisex restroom be upgraded to meet this requirement. In this portion of the building it appears there the appropriate number of exits with door panic hardware. The building is equipped with a fire alarm system, but is not sprinklered.

Exterior

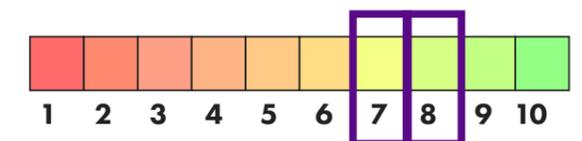
In general, the exterior of Chancellor's Hall is in very good shape. This was clearly a well designed and detailed building built with long lasting materials such as brick, precast concrete parapet caps and copper downspouts. The roof of the colonnade was replaced in 2011, roof over the gym in 2008 and roof over the cafeteria in 2014 all with a TPO membrane roof. There are two minor issues to note; one being the front door and the second being the windows. The double doors have experienced some shrink and swell over the years resulting in large gaps between them. This is certainly an energy efficiency issue, and could also become a security issue. The windows on the original portion of the building are aluminum frame casement style with single pane glass. Some of the casement windows are not closing properly, and along with the single pane glass these are both energy efficiency issues.

Systems:

HVAC:
 (4) 10 ton package units serve the gym: 2 are new, 2 are 2015 models. There are currently no problems to report with these units. This is adequate capacity for a space of its size, but the system may struggle if there is a large gathering.
 (2)units serve the second floor; 2015 and 2014 models – no issues reported
 (1) 2018, 10ton AC unit for cafeteria
 (1) 5 ton AC for kitchen

(1) 3/5 ton AC for hall and restrooms
 -all of these are up to code with smoke detectors; no issues reported
 -In the gym there is significant dirt around all of the HVAC registers. This is indicative of leaks in ductwork allowing dust into the system. This can contribute to poor energy efficiency in the system.
 Electrical:
 All lighting throughout the building is either, incandescent, fluorescent or (in the gym) metal halide. It is recommended that all fixtures be updated to LED and that occupancy sensors be installed for energy conservation.
 Plumbing:
 All gas to the kitchen is in good condition. The restrooms/ showers off the kitchen are "limping by", and drinking fountain is not working in this area. In all other restrooms, other than the fact that the fixtures are outdated and need replacement, there are no issues to report. There is no galvanized piping in this building.

	(OFFICES) EAST	(GYM) WEST
◇ USE:		
Function & Suitability Of Current Use	10	8
Flexibility for future use	10	10
AVERAGE = 10	10	9
◇ ARCHITECTURE:		
Building Soundness Interior	9	2
Building Soundness Exterior	10	10
Historic Significance	5	5
Code & Accessibility	8	8
AVERAGE = 8	8	6
◇ SYSTEMS:		
HVAC	7	7
Plumbing	4	7
AVERAGE = 5	5	7



LYMAN ANNEX



Breezeway



Breezeway Roof Detail



Classroom Interior

Lyman annex is the two story classroom building just east of Keller house on Center St. This is a brick on masonry wall building consisting of two classrooms on the first floor and two classrooms on the second floor. It is accessible from the east side of Chancellors' Hall, from Keller House on the second floor, and to both the Garth and Morrison Hall by a covered, open air breezeway.

Exterior

The exterior of the Lyman annex is very non-descript. It is not expressive of any architectural style, but rather seems to blend into the background of the showier structures on the campus. However, as is the case with all the buildings on campus, it is well built with quality materials of brick and precast concrete. The windows on the building are aluminum single pane. For better energy efficiency it is recommended these be replaced, or storm windows added. The building still has the original roof, estimated to be a two ply modified bitumen roofing system with granular cap sheet.

Just outside the second floor is a covered breezeway that leads to the garth and Morrison Hall. The cover over this area consists of wood rafters supporting a copper covered flat roof system with wood decking on the underside. There are four skylights in this roof. The wood decking on the underside is showing significant water damage as are the tops of the rafters. However, observation of the copper on the top of the roof appears to be in stable condition. There are likely two causes for the water damage; one- the lack of proper drip flashing on the edges of the roof, and two- seals around the skylights are failing, causing leaks onto the wood decking.

Interior

The interior of the building is in very good condition. Walls,

flooring, ceilings and doors are all generally well maintained. The classrooms are large, bright and spacious. The stair in this building is safe for young children. In both the 1st floor and 2nd floor jack-and-jill restrooms the fixtures and finishes are dated, but well maintained. It is recommended that in all classrooms the base cabinets and counters be replaced.

The building appears to have the appropriate number of egress points. Exit signs and fire alarm system are present. Efforts have been made toward accessibility.

Systems

HVAC:

The building is served by three AC units and four package units (PU)
 4 Ton AC -2007
 5 Ton AC- 1998- connects to a 1986 furnace which is working but leaking air heavily- should be replaced
 4 Ton AC – 1998
 4 Ton PU- 2013
 5 Ton PU- 2012
 5 Ton PU- 2004
 3 Ton PU- 1998
 All of these units are regularly maintained. Currently there are no issues reported.
 15 ton 2000 AC – Priority replacement (one circuit bad, fan blade bad)

8 ton 2017 AC- connected to furnace not up to code ----verify these with Paul what do they serve?

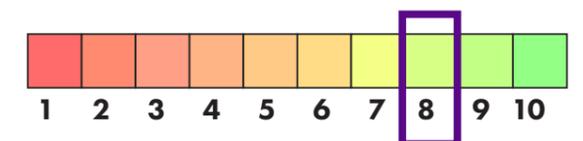
Plumbing:

Aside from old fixtures, there is no galvanized piping in this building. There are no known issues with plumbing in this building.

USE:	SCORE
Function & Suitability Of Current Use	10
Flexibility for future use	10
AVERAGE = 10	

ARCHITECTURE:	SCORE
Building Soundness Interior	10
Building Soundness Exterior	6
Historic Significance	2
Code & Accessibility	9
AVERAGE = 6.25	

SYSTEMS:	SCORE
HVAC	6
Plumbing	9
AVERAGE = 7.5	



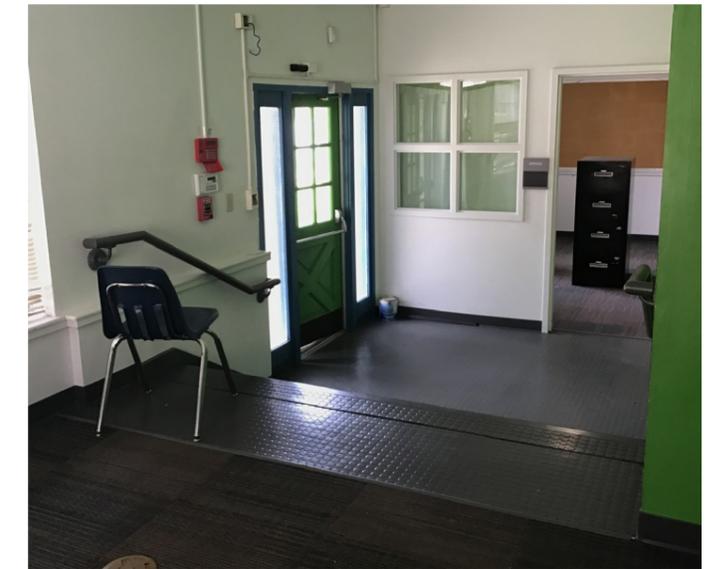
HODGES & HIGGINS HALL



Higgins Hall



Hodges Hall



Interior Higgins Hall

Hodges and Higgins Hall are two story brick buildings built in 1950's. The buildings are located on corner of Spring St. and 16th St., directly across from the campus proper. Each building was built as an apartment building but later remodeled into classrooms. Higgins Hall contains a partial underground basement.

Exterior

On the exterior of Higgins Hall the architect observed cracking in brick joints and spawling in the concrete foundation that may be attributed to settling. This was observed predominately on the north side of the building. A structural engineer should be consulted to verify the extent and cause of these issues. The exterior of Hodges Hall appeared to be in good condition for its age and no settling issue were observed on this building.

On both buildings, general maintenance items that should be addressed include paint and repair of soffits, fascias and roof dormers. repainting exterior stair and rails and mildew cleaning at awnings, gutters and downspouts. Additionally, the original aluminum casement windows are still in place on both buildings. These windows should be resealed at the perimeter and re-putted at each glazing unit. The roofs of both buildings should be replaced.

The concrete arches at each building's entry are not original features. It is the opinion of the architect that they do not compliment the architectural style of these buildings, nor do they enhance their presence on the Trinity campus.

There is a main entry to each building off of Spring St., a side entry/ exit with ramp and a rear exit to an exterior fire escape. Only the side entries are ADA accessible, which is acceptable by code. However, because neither building has an elevator, the second story of each building is not ADA accessible. In both

buildings the boys and girls group restrooms do not meet code for wheelchair or ambulatory accessibility. However in Hodges Hall, there is a single use restroom that could satisfy ADA requirements.

Interior

Throughout the interiors of both buildings there is a significant amount of deferred maintenance to be addressed, including painting, wall repairs, door hardware repairs and general cleaning. The heaviest amount of this was generally observed in the classrooms, which is expected. Throughout the buildings, and especially in the classrooms, the 1x4 fluorescent lighting is outdated, inefficient and inhospitable. It is recommended that all lighting be replaced with new LED fixtures. All of the classrooms have extensive millwork with plastic laminate finish. Generally the millwork was observed to be in good working order and in good shape. However, the finish is considered outdated, and there are options available for resurfacing if desired. The countertops of all the millwork are outdated and in many cases damaged, and therefore should be replaced.

Both buildings appear to have relatively new carpet (squares). While there was some staining, if the church has adequate attic stock available, this could be easily remedied. Both buildings have new interior signage. Each building is equipped with a fire alarm system including smoke detectors, visual and audible alarms, pulls and alarm panel.

Systems:

HVAC

Higgins Hall has all new (in the last 5 years) condensing units. This building is on a split system.

Hodges Hall has three new unit, but also has three air handlers that are beyond their useful life and should be replaced.

Electrical:

In all of the classrooms, there appears to be a power and data strip that was added on one wall, possibly for computer stations and is served by surface mounted conduit. This appeared to be in poor condition, and configuration of this is not conducive to alternative room uses or arrangements.

Plumbing:

Higgins Hall has experienced occasional leaks and flooding in the basement. Both buildings are on the same sewer line.

◆ USE: SCORE

Function & Suitability Of Current Use	0
Flexibility for future use	10

AVERAGE = 5

◆ ARCHITECTURE: SCORE

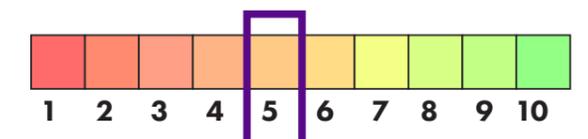
Building Soundness Interior	3
Building Soundness Exterior	6
Historic Significance	1
Code & Accessibility	5

AVERAGE = 3.75

◆ SYSTEMS: SCORE

HVAC	7
Plumbing	7

AVERAGE = 7



KELLER HOUSE



Keller House is a two story building, located in the center of the Trinity campus. It is connected to both the second floor of Chancellors’ Hall and the Lyman Annex. The building is considered historic, it was designed to compliment the gothic revival style of the cathedral with details such as the step gable roof and exposed rafters. The building keeps the scale of a “house” which compliments Mitchell house just across the drive.

Exterior

Keller house is a quality design building built with long-lasting materials such as brick, pre-cast concrete copings and copper downspouts. However, the roof is shingled with asbestos tile. This will pose a significant financial burden when the time comes for roof replacement. Evidence of leaks in the front stoop have already been observed. The building has single-pane aluminum frame windows throughout. It is recommended that these windows either be replaced or that they be resealed and puttied and have storm windows installed. In their current state they are not energy efficient.

Interior

The interior of Keller House is in good condition overall. All carpet and walls are in good condition. There is wood millwork throughout the building that is well built and maintained. Two areas of recommended improvement include the base cabinets and counters in the break room and replacement of the layin ceiling.

The building appears to have the appropriate number of egress points. Exit signs and fire alarm system are present. Guardrails on the stair leading to the 1st floor of Chancellors’ Hall do not meet code.

Systems

HVAC:

Ducted heat and air from the boiler and air handler in basement serves both floors. The boiler is considered obsolete and would have to be replaced if it failed.

The 1st floor has floor mounted radiators that act as supplemental heat. These are obsolete and if they were to fail they would have to be replaced.

On the 2nd floor, smashed return air duct was observed serving the lona room. The up-flow gas furnace is not old but was poorly installed and exhibits some code issues related to electrical connections to this unit.

The thermostats have been replaced as needed with digital models that have temperature controls.



Conference Room, Parish Offices



Baker Parlor

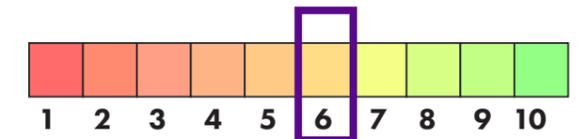
Plumbing:

Aside from old fixtures, there is no galvanized piping in this building. The hot water tank is aging and not large enough to support the load. Replacement is recommended. The RPZ for this building is in good condition.

USE:	SCORE
Function & Suitability Of Current Use	10
Flexibility for future use	10
AVERAGE = 10	

ARCHITECTURE:	SCORE
Building Soundness Interior	8
Building Soundness Exterior	5
Historic Significance	8
Code & Accessibility	8
AVERAGE = 7	

SYSTEMS:	SCORE
HVAC	4
Plumbing	7
AVERAGE = 5	



PARISH HOUSE



Parish House is a three story brick on masonry wall building located at the southeast corner of the campus and is the "terminus" of The Garth. This building was designed to compliment the gothic revival cathedral with details such as tall gothic arched windows and an arched colonnade at the entry. The entry door repeats the gothic arch double door of the cathedral (which is also a signature detail of many episcopal churches). In addition, the exterior brick pilasters that encase the downspouts are reminiscent of the buttresses on the exterior of the cathedral. There are also thoughtful brick details on the exterior such as raised brick crosses.

Exterior

In general, the exterior of Parish House is in very good shape. This was clearly a well designed and detailed building built with long-lasting materials such as brick, pre-cast concrete parapet caps and copper downspouts. Portions of roof on Parish House were replaced in 2010, 2016 and 2019 with a TPO membrane roof. The windows on the building are aluminum frame casement style with single pane glass which is not energy efficient. Storm windows or replacement windows may be considered. Where the Lyman Annex breezeway roof ties into Morrison Hall, there is evidence of failed flashing or sealant due to significant water damage to plaster on the interior side of the wall.

Interior (Morrison Hall)

Morrison Hall has received several renovations through the years. Currently the space is in good condition, except for water damaged plaster on the north wall as mentioned in the previous paragraph. It should be noted that the flooring in Morrison Hall and the pre-function area that serves it both have asbestos floor tile. Additionally, the spray ceiling material in Morrison Hall is

asbestos containing material. However, these materials have been tested and determined not to be friable.

Morrison Hall is typically used for parish gatherings such as seated banquets, speaking presentations, or ECEP children's performances. However, the room is not acoustically tuned to accommodate these functions. While there are absorptive panels at the rear of the room, the majority of surfaces are sound reflective. This creates an acoustically "live" space making speech audibility difficult. An acoustical consultant can be engaged to make recommendations for better acoustical control.

The room is equipped with AV for presentations, but there is no ability to control lighting (both natural or artificial). New LED lighting with dimmer controls is recommended.

The kitchen the serves Morrison Hall appears to be good condition with all equipment functioning properly.

In this portion of the building it appears there the appropriate number of exits with door panic hardware. The building is equipped with a fire alarm system, but is not sprinklered.

Interior (Classroom Wing)

The classroom wing of Parish House is actually three levels with a single large classroom on the ground floor, the majority of classrooms and restrooms on the mid- level and more classrooms, restrooms and storage on the third level. Generally, all the classroom spaces are in good condition and well maintained. As is the case with most of the campus, millwork countertops and sinks are in need of replacement. Acoustical ceiling tiles should be replaced where stained and lighting should be upgraded to LED, with dimming recommended in classrooms. Most of the restrooms in Parish House need significant upgrade. Not only are fixtures old and outdated, the layouts are not ADA compliant.

On all floor levels, it appears there the appropriate number of exits with door panic hardware. The building is equipped with a fire alarm system, but is not sprinklered. The stairs leading from the ground to mid- level have guardrails that are not code compliant. The issue at this stair is most concerning because of its regular use by small children.

Systems

HVAC:

1 P.U. (8 years old) serves Morrison Hall, foyer and kitchen Twin units 5 tons each (2 AC and 2 furnace) for a total of 10 tons serves mid- level classroom wing. However the ductwork is not sized correctly so one unit is turned off. 5 tons is not adequate for the classroom area, but there have not been any complaints.

1 P.U. (42 years old) serves the large classroom on the ground floor. The unit is very inefficient but currently there are no problems.

1 P.U. for choir room on third floor. This unit has had multiple issues. 5 P.U. (11-12 years old) for "library" and catechists rooms on third floor. Ducts are losing efficiency in box casing and should be replaced with insulated weather proof ducts.

Electrical:

All lighting throughout the building is either, incandescent or fluorescent. It is recommended that all fixtures be updated to LED and that occupancy sensors be installed for energy conservation.

Plumbing:

The sanitary and water piping in the Parish House restrooms is galvanized piping. Galvanized piping is an obsolete material that has not been used since the 1960's. The galvanized piping is problematic because it can corrode, causing leaks and backups. Adding to this problem is the fact that much of this piping is in masonry walls which makes it difficult to access and repair.

AV/Data:

Phone and data lines have been replaced or repaired several times over the years. On site observation revealed a significant amount of abandoned-in-place cabling. A comprehensive assessment/ clean up of used/ unused cable should be undertaken.

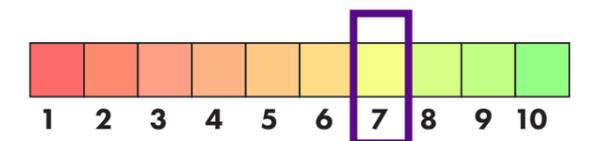


Classroom Interior

USE:	SCORE
Function & Suitability Of Current Use	8
Flexibility for future use	10
AVERAGE = 9	

ARCHITECTURE:	SCORE
Building Soundness Interior	9
Building Soundness Exterior	10
Historic Significance	5
Code & Accessibility	8
AVERAGE = 8	

SYSTEMS:	SCORE
HVAC	5
Plumbing	5
AVERAGE = 4	



APARTMENTS



The apartment building is a two story brick building built in 1950's. The building is located on 16th street in the mid block just west of the campus proper. The building contains four 1 bedroom "studio" apartments and each has both a front and rear entry. The architectural style of the building is relatively non-descript. However, some of the exterior details are reminiscent of the Art Deco era, such as the overall square building shape and square metal windows; and the main entry which features two vertical pilasters and a curved metal overhang.

Exterior

The exterior of the building appears to be in good condition. There are no visible cracks in the brick that would indicate settling. Soffits and fascias are in good condition with no rot observed, though it is evident there is mildew build up on the gutters. The building has a low slope asphalt shingle roof; the last date of replacement is thought to be within the last five years. The apartment building still has all of its original aluminum casement windows. It is recommended that new sealant be applied around the window perimeters and new putty applied at each glazing unit. Storm windows may be considered for better building efficiency. Currently there is a large pine tree growing very close to the west elevation of the building and appears to be leaning over the roof. It is recommended that this tree be removed.

Interior

On the interior, the apartment that was observed seemed to be in good condition, though the kitchen and bathroom were in need of extensive remodel. If this is undertaken on all the units, it may be required to upgrade one unit to ADA compliance. No evidence of water leaking was observed inside the building. In the front entry hall and stairs, new flooring was observed on the first floor, but the stairs and upper landing had exposed mastic.



Condensing Units, Apartments

Systems

HVAC

Each apartment is served by a 2 ton split system, with an exterior condensing unit that feeds a furnace in each apartment. Two of the units are 2012, one is 2011, and one is 2005. There are no major maintenance issues with the HVAC system. However, there are not the required number of disconnects for the number of units, and the electrical feed to the furnaces is in need of upgrade.

Electrical

The building is in need of a complete upgrade of the electrical system. This can be undertaken in two phases as follows:

Phase One: (building overall) estimate = \$7,500

rebuilding the incoming service to the building

replacing meter sockets and main breakers to each individual apartment, and the house meter for common areas

Add 120v powered smoke detectors in common areas

Phase Two: (per unit) estimate = \$8,500 each

Upgrade wiring to each kitchen; dedicated circuit to refrigerator and to countertop

Add dedicated circuit to bathroom with GFCI

Add grounded circuit for new outlets in bedroom and living room

Add 120v powered smoke detectors

Install new breaker panel

Plumbing:

New 3/4" service were replaced recently to all four apartments, including the installation of new regulators and cutoffs. The hot water tanks are in need of replacement. Plumbing fixtures in the kitchen are integral to the metal cabinet/ counter. These are obsolete and should be completely replaced. Fixtures in the bathrooms are outdated.

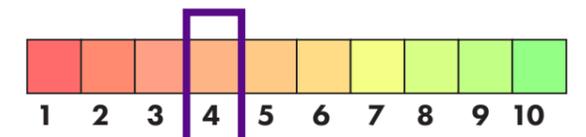
Fire Alarm:

A fire extinguisher was observed in the shared hall, but a fire alarm system was not observed, nor is the building sprinklered.

USE:	SCORE
Function & Suitability Of Current Use	8
Flexibility for future use	3
AVERAGE = 5	

ARCHITECTURE:	SCORE
Building Soundness Interior	4
Building Soundness Exterior	7
Historic Significance	1
Code & Accessibility	4
AVERAGE = 4	

SYSTEMS:	SCORE
HVAC	6
Plumbing	6
AVERAGE = 4	



MITCHELL HOUSE



Mitchell House is two story brick on masonry wall building located just off of The Garth. Mitchell House is categorized as “low” Italianate style with details such as the shallow arched windows, heavy cornice lines and the cross gable roof with hipped details. The “house” was first designed as the carriage house for the church, but was at some point converted from this use. The building has the same brick and dark green wood trim as the cathedral. The original wood casement and single hung windows are still in place on the structure. Adding to the charm of this structure are the metal star bolts seen on the elevations.

Exterior

While the exterior walls appear to be structurally stable there is a need for tuck pointing in areas, particularly on the west elevation. Evidence of water damage to plaster on the interior indicates that the brick needs to be sealed to limit water absorption. The historic windows are wood framed with single pane glass, and a few of the casement windows are not closing properly. These are inefficient, however they are integral to the historic character of the building. The roof is asphalt shingle; it is unknown how old this roof is but there does not appear to be any leaks on the upper floor.

Interior

On the first floor there is some evidence of water damage to plaster as referenced in the earlier paragraph. The floor tile on the appears to be the same asbestos tile seen in Morrison Hall. There is one bathroom in the building which has been renovated. The upstairs has new carpet and appears to be well maintained.



First Floor, Mitchell House



Second Floor, Mitchell House

Systems

HVAC:

One condensing unit, one coil and one furnace, all 1991 models. These units are considered in poor condition.

Electrical:

All lighting throughout the building is either, incandescent or fluorescent. It is recommended that all fixtures be updated to LED and that occupancy sensors be installed for energy conservation.

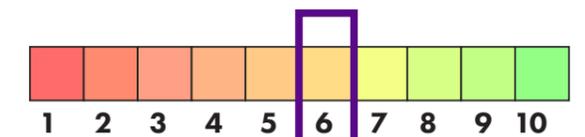
Plumbing:

The main water service to the building runs through Treadway Garden and under the grave site. This will be a major issue for access if there is ever damage to this line.

USE:	SCORE
Function & Suitability Of Current Use	5
Flexibility for future use	7
AVERAGE = 6	

ARCHITECTURE:	SCORE
Building Soundness Interior	4
Building Soundness Exterior	5
Historic Significance	10
Code & Accessibility	1
AVERAGE = 5	

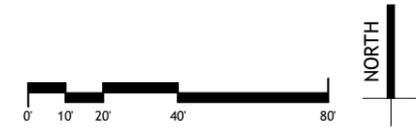
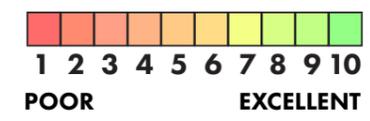
SYSTEMS:	SCORE
HVAC	7
Plumbing	7
AVERAGE = 7	



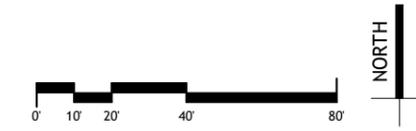
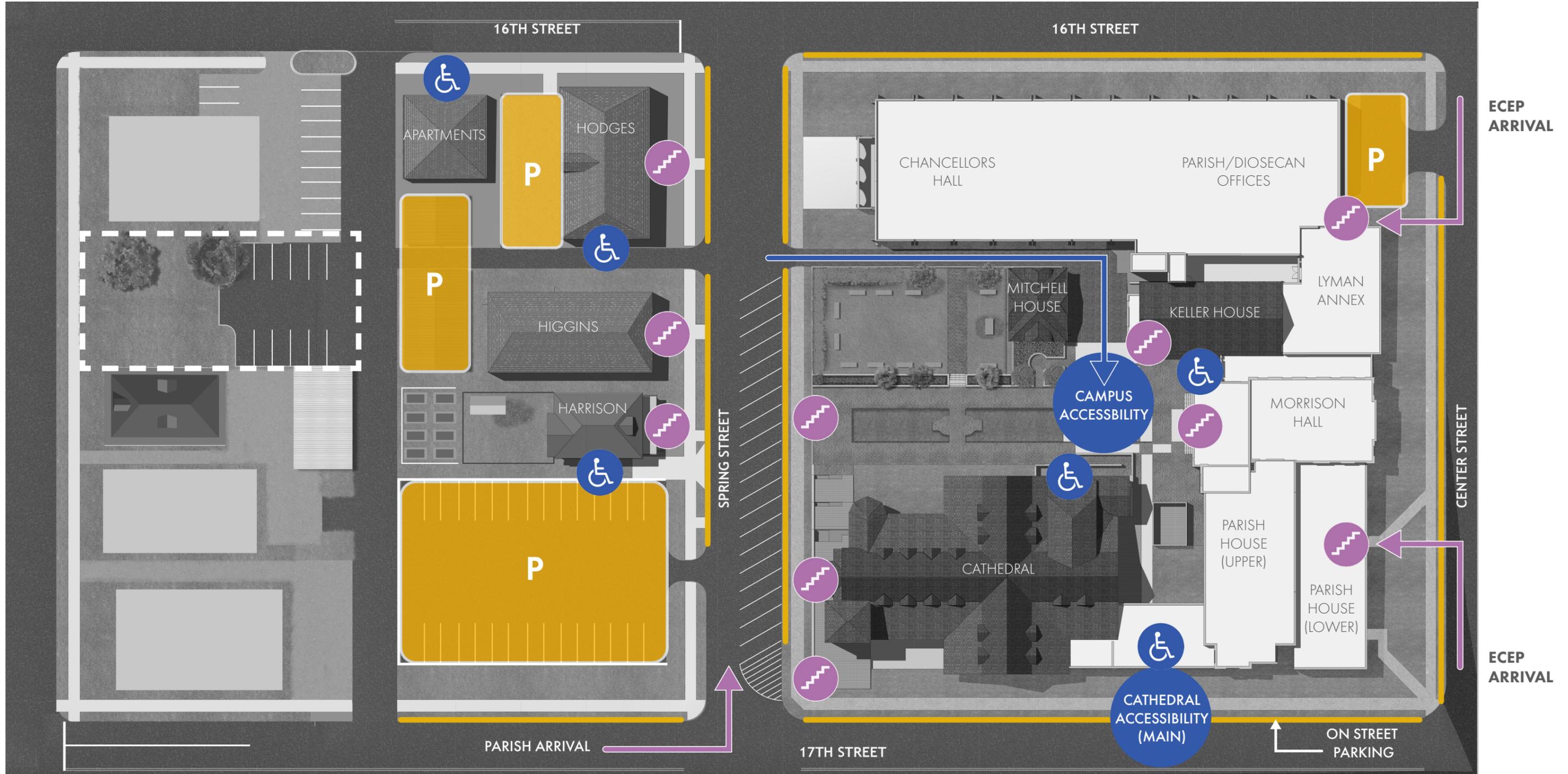
CAMPUS RATING



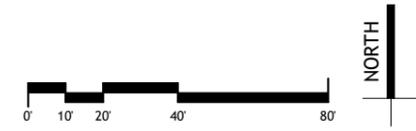
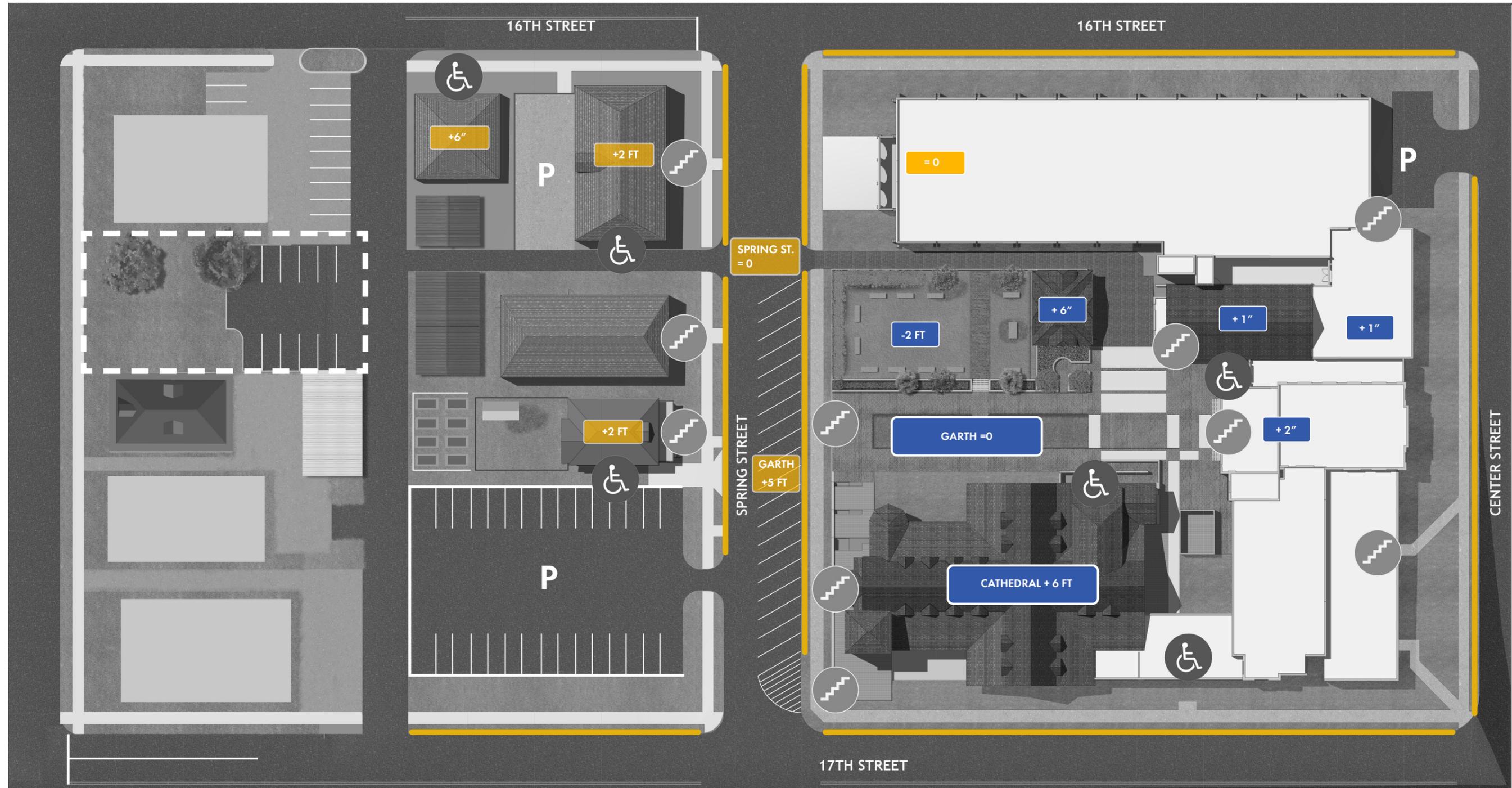
CAMPUS RATING SCALE



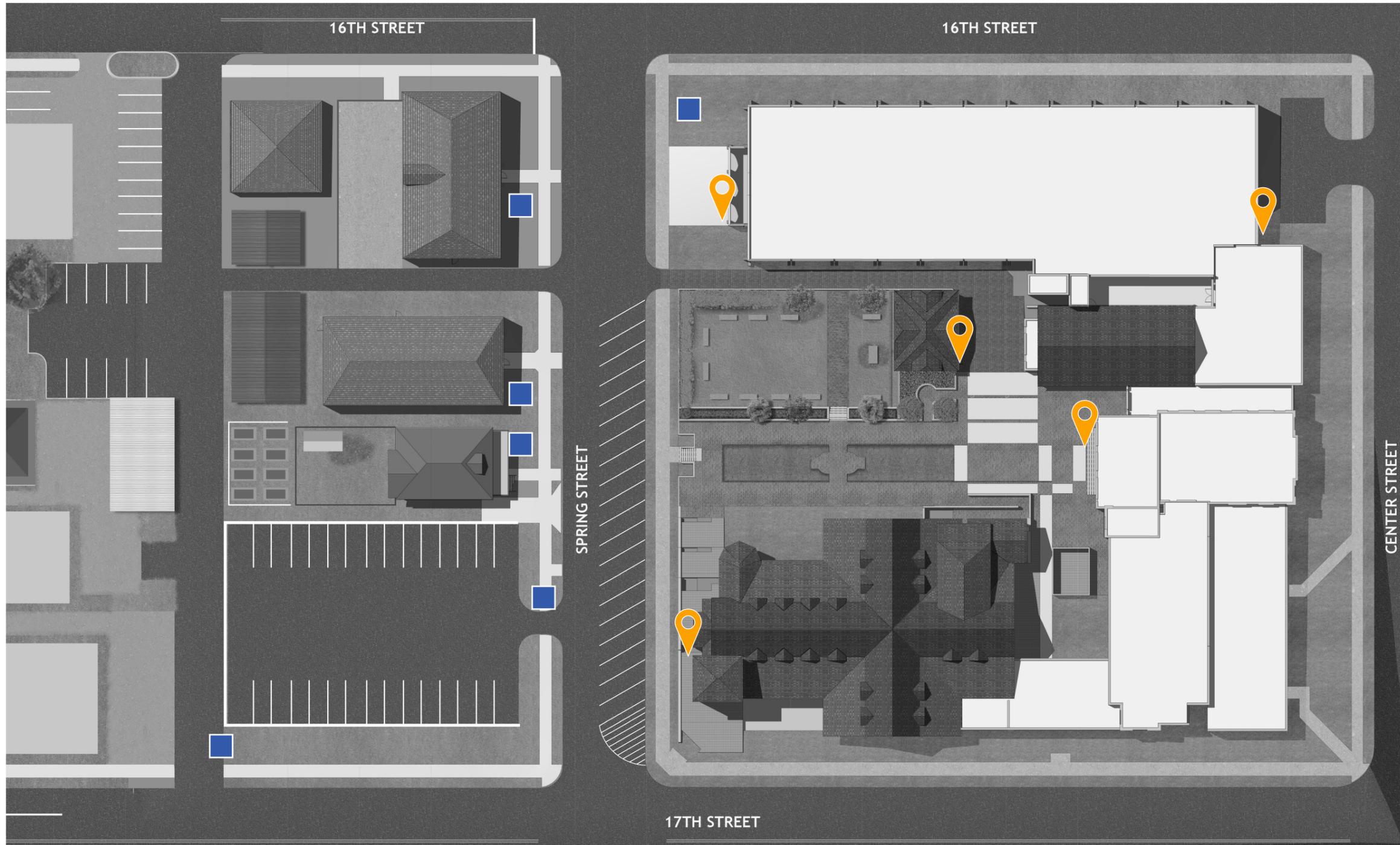
CAMPUS ACCESSIBILITY



CAMPUS ELEVATION CHANGE



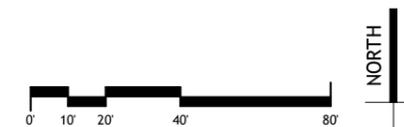
CAMPUS SIGNAGE



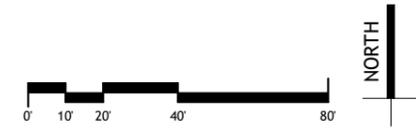
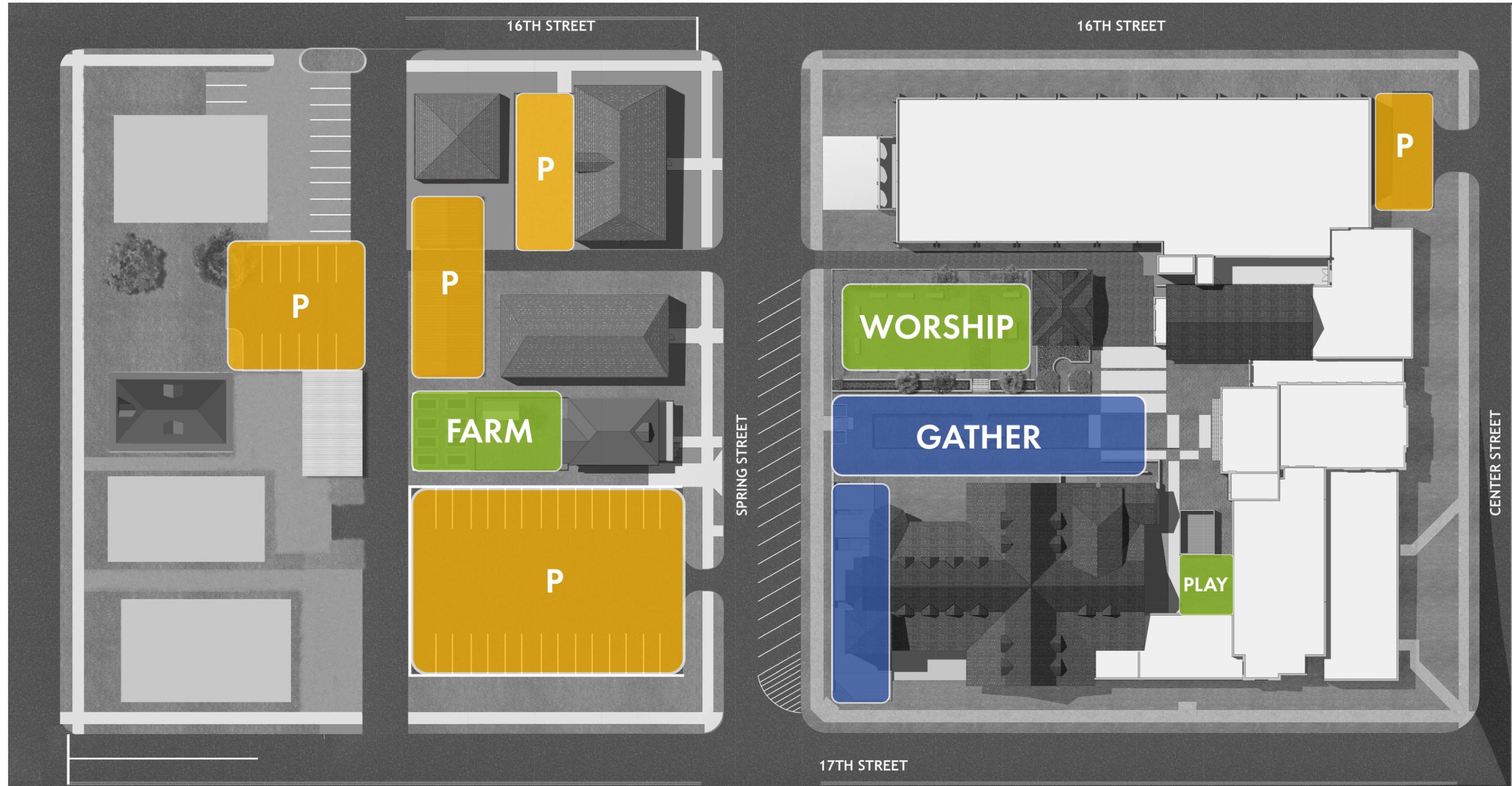
MONUMENT SIGN



BUILDING ENTRY SIGNAGE



CAMPUS OUTDOOR USE



CAMPUS SPACE USE



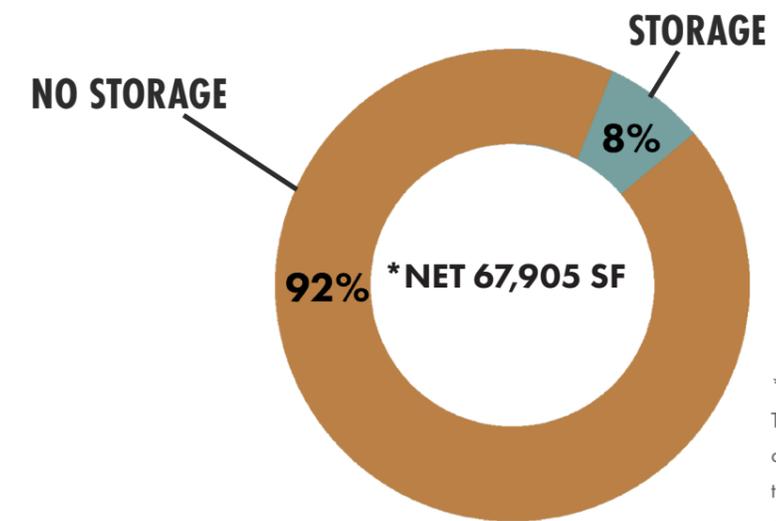
STORAGE DIAGRAM



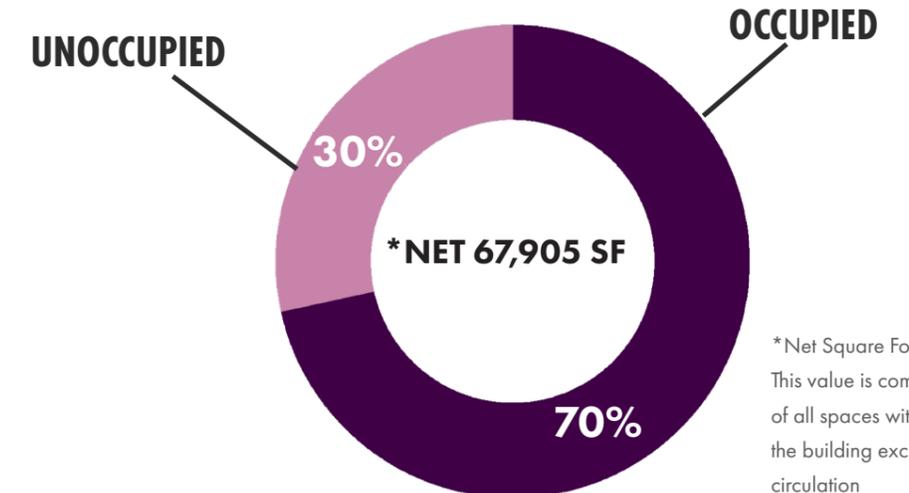
OCCUPIED VS UNOCCUPIED DIAGRAM



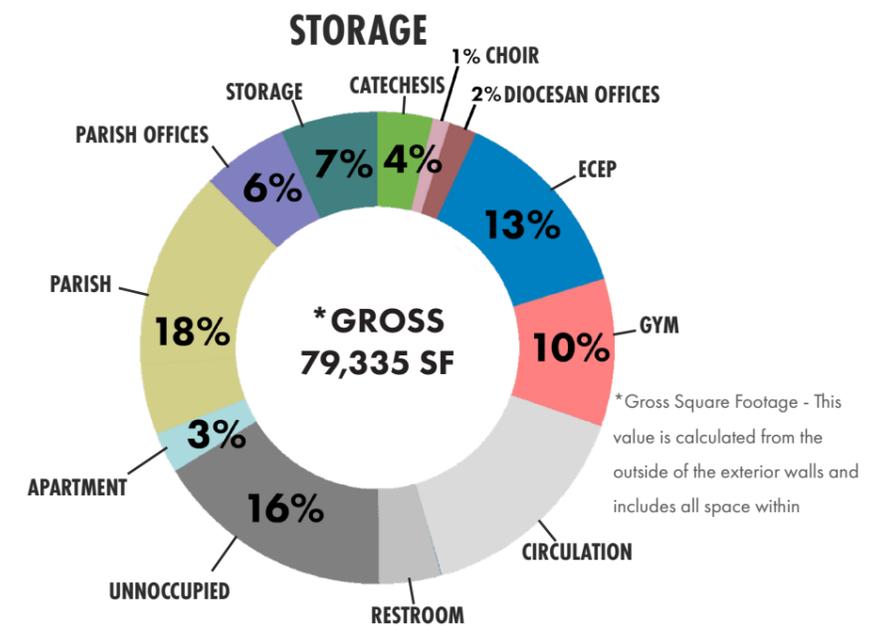
PROGRAM USE DIAGRAM



*Net Square Footage - This value is composed of all spaces within the building excluding circulation



*Net Square Footage - This value is composed of all spaces within the building excluding circulation



*Gross Square Footage - This value is calculated from the outside of the exterior walls and includes all space within

2

VISIONING

FOCUS GROUP VISIONING

These were a series of meetings with key groups within the parish who's ministry is directly effected by the current condition of campus facilities. In these meetings, groups were asked to dream BIG about the future of their ministry. In each session, groups were asked to first Identify goals and ideas, then Define elements to achieve the goal, and lastly Develop details of each element.



**FLOWER
GUILD**

- **Dedicated space** for Flower Guild use
- More **Storage** is needed that is easily accessible from the Sacristy



ECEP

- Small, intimate setting is the appeal of ECEP
- Special classes: art, gymnastics, yoga, music and chapel need a **dedicated space(s)**
- ECEP needs more **Visibility** on campus- bring the life forward
- ECEP needs better **Direct Access**/ arrival – currently there are three separate entrances
- BIG Dream-**new building** on playground site that opens onto gardens, outdoor classrooms and playground



STAFF

- Need larger variety of meeting spaces, **flexibility**
- **Accessibility** needs to be addressed
- Library could be a **Resource Center** for parishioners and community in an accessible location on campus
- Trinity should be a **hub** for the Diocese
- **Unify** both sides of Spring Street

- Plan for **Growth**
- Need **Dedicated Space(s)**
- Educate/ **Visibility** to the Parish
- Create a **Collaborative** community- better **Adjacency** of classrooms
- **Attractive, Safe, Accessible** classrooms
- Teacher resources, recruitment and better flexibility



CATECHESIS

- Serve the Hungry, Homeless, Lonely and Abused
- Off-Campus **Ministry**
- Need more exposure to parish of the work that is being done
- Dedicated collection location on campus



MATTHEW 25

- Campus needs **Clear Circulation**, interior and exterior
- Campus needs larger, updated **Restrooms**
- Exterior and Interior spaces need better **Accessibility**, ramps and or elevators
- More **Flexible**, multi-purpose spaces for gathering, i.e. Chancellor's Hall



JR WARDEN



BISHOP

- Exterior, direct **Access** to Diocesan offices
- **Visibility**
- **Engagement** with the community and surrounding neighborhood
- Greater **Flexibility** of spaces
- Better **Adjacency** of a gathering space for pre and post events off of Sanctuary
- Envision the Trinity campus as an urban meeting/ training/ retreat **"Host Facility"** for the diocese.



CHOIR

- **Accessibility** for all choir members
- **Adjacency** to worship space(s)
- **Flexibility** of seating and room arrangement
- Acoustically "live" space is needed
- Royal School of Church Music- Trinity could be a **"Host Facility"** for this program
- Room for **Growth** of adult choir and children's choirs/ visiting musicians
- Historic music library is the best in Arkansas! Needs a better **Storage** system
- **"Passerby Effect"** - let choir be seen and heard by parish and community



CLERGY

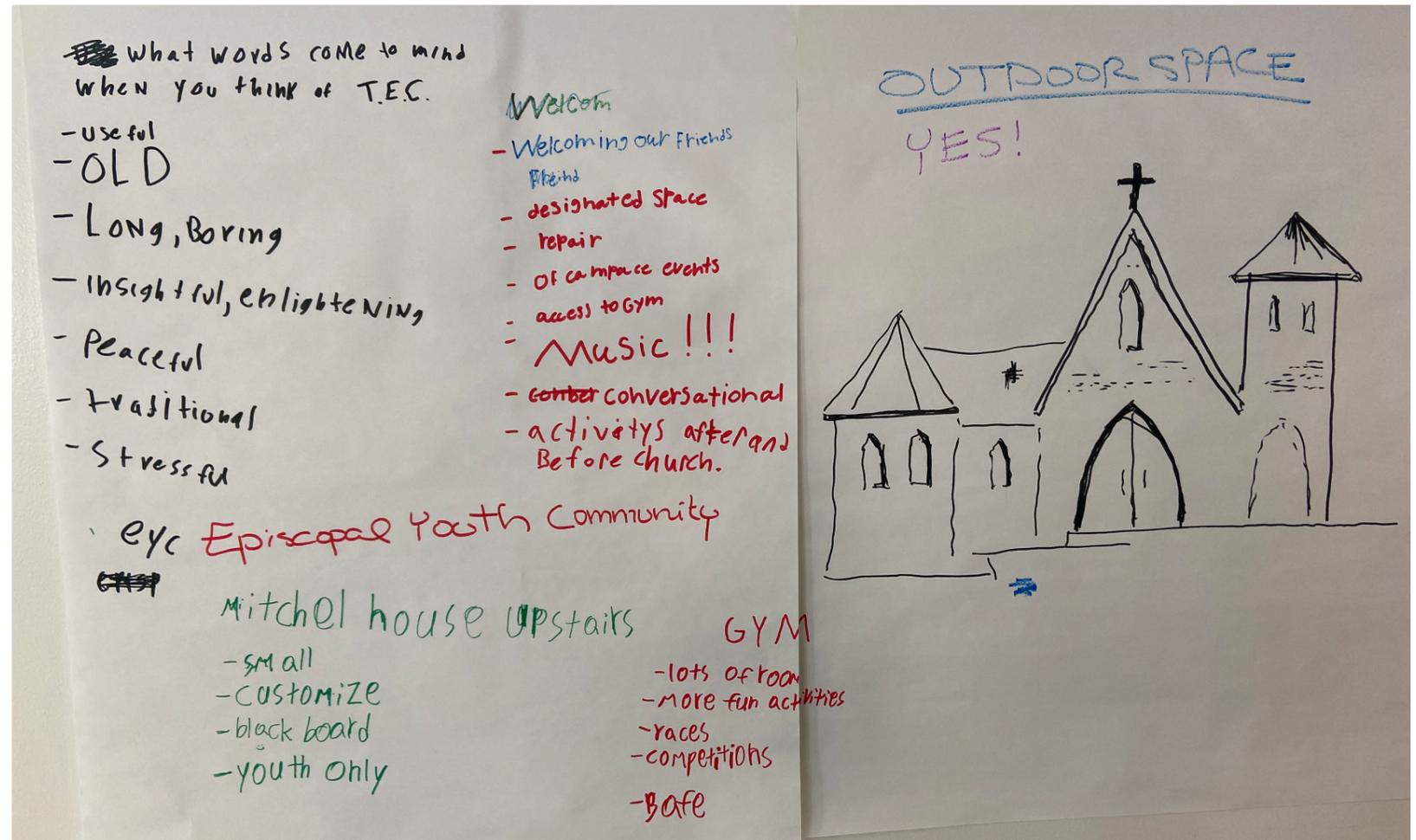
- Space allocation for **Youth** should reflect their value to the parish
- Children should be a visible and constant part of parish life
- "Abundant Hospitality": **welcoming, accessible, warm, flexible, spiritual**
- Need multiple options for small and large group gathering
- Trinity can be a "community connector" - support parishioner outreach and be a **resource for the community**
- On-line scheduling platform
- Flexible worship spaces
- Remove deference to authority; locate dean and bishop offices where they are **visible** and accessible
- Remove hierarchy of space

EPISCOPAL YOUTH COMMUNITY

The future of Trinity lies with its youth, and for this reason they were a key group to garner feedback from. A group of “twens” and teenagers met to talk candidly about the good and the bad at Trinity. We talked about what keeps them coming to church, what would encourage them to bring friends and what they would want in their own space. We toured both upper Mitchell House and Upper Chancellors Hall. The kids exploded with excitement about having their own space, and in particular loved the space in Chancellors Hall.



YOUTH ONLY!!!



WHAT BUILDS COMMUNITY?

- WELCOMING OUR FRIENDS
- DESIGNATED SPACE
- CLEAN, MAINTAINED
- ACCESS TO THE GYM
- CONVERSATIONAL
- OFF CAMPUS EVENTS
- ACTIVITIES BEFORE / AFTER CHURCH





WHAT COMES TO MIND WHEN YOU THINK OF TRINITY TODAY?

- USEFUL
- OLD
- LONG AND BORING
- INSIGHTFUL
- ENLIGHTENING
- PEACEFUL
- TRADITIONAL
- STRESSFUL



OUTDOOR SPACE!!!

MUSIC!!!

WHAT DO YOU WANT FOR THE EYC SPACE?

- MITCHELL HOUSE UPPER
- CHANCELLORS HALL UPPER
- CUSTOMIZABLE
- YOUTH ONLY!
- MUSIC!
- BLACK BOARD



FUN!!!



ABUNDANT HOSPITALITY

After meeting with all of the focus groups and listening to their goals and ideas for the future of their ministry, the design team was able to identify common themes among the groups. These commonalities begin to support the idea of abundant hospitality for **ALL** people at trinity.



COMMUNITY PARTNERSHIP VISION

MISSION STRATEGY COMMITTEE CORE VALUES

VISION STATEMENT:

WHY: The Parable of the Good Samaritan

WHAT: We will use these historic properties as stewardship tools at the intersection of our diocese, parish, its mission and our relationship with the community

HOW: We, the Parish of Trinity Episcopal Cathedral, are cultivating relationships with one another, diocesan and community partners. We will provide resources and support to the wider community we want to serve.

FACILITY STATEMENT:

Flexible and collaborative space that allows the community to worship, serve, work, learn and engage in fellowship and play together.

IMAGINE: A COMMUNITY OUTREACH CENTER AT TRINITY

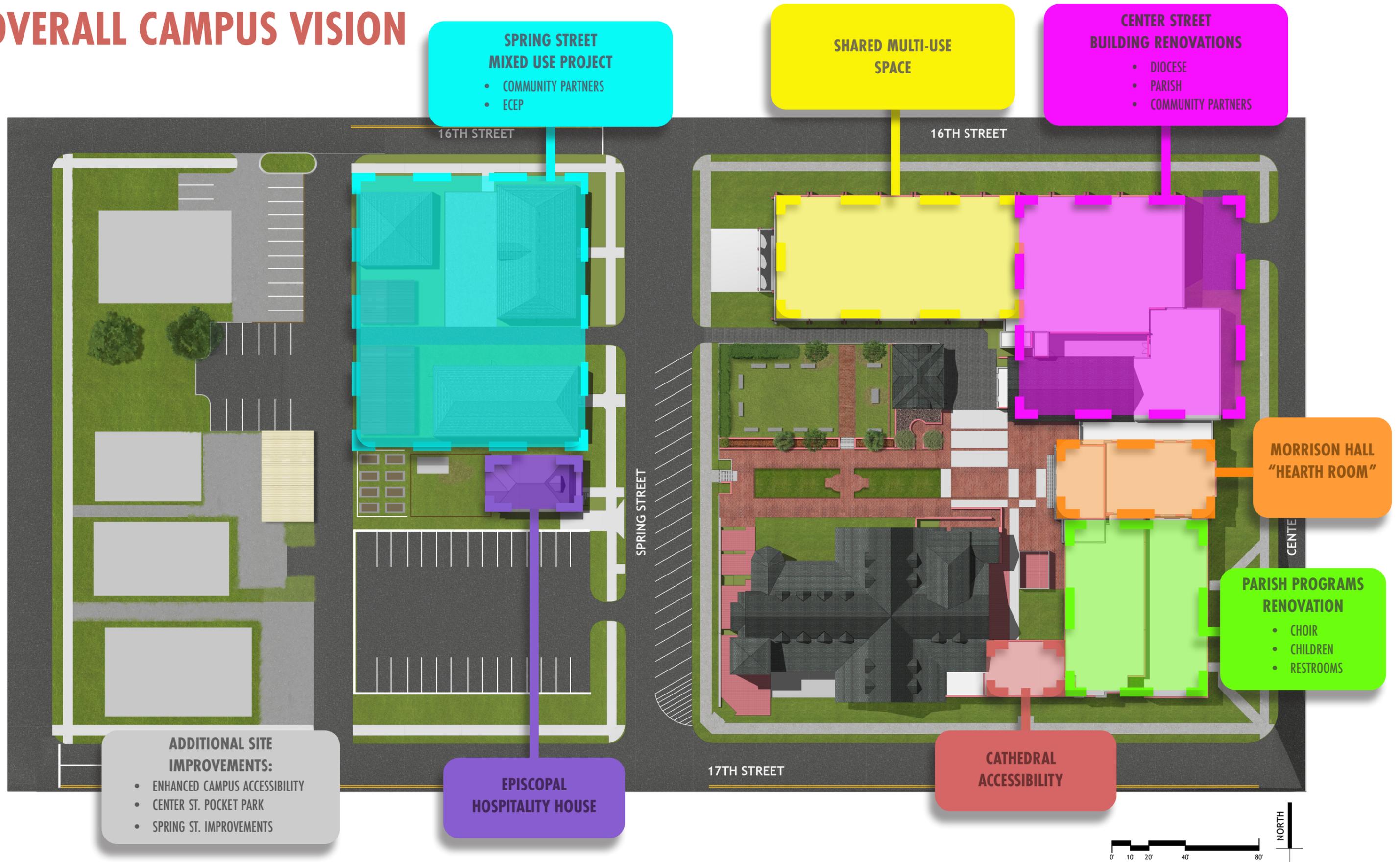
- LITERACY
- YOUTH SERVICES
- SOCIAL JUSTICE
- RE- ENTRY PROGRAMS
- IMMIGRATION SERVICES
- HUNGER RELIEF



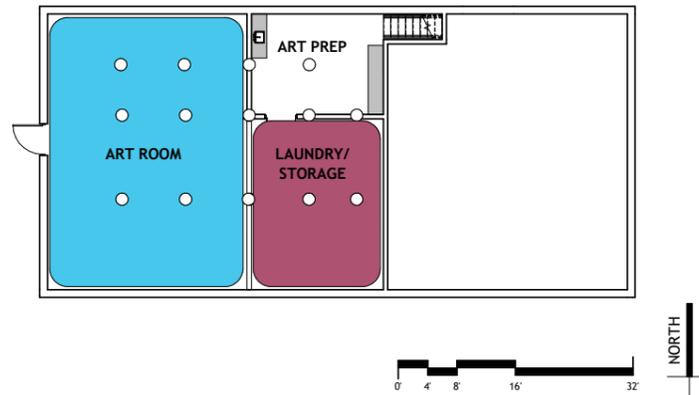
3

DEVELOPMENT

OVERALL CAMPUS VISION



PHASE 1 - SPRING ST. MIXED USE PROJECT



Basement Higgins Hall



First Floor Hodges/Higgins/Apartments



Second Floor Hodges/Higgins/Apartments

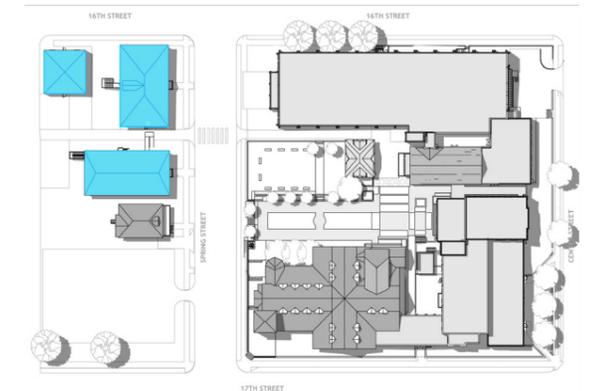
PHASE 1A

Phase One of the master plan proposes a mixed-use re-development of Hodges and Higgins Hall, and the apartment building. The proposal would relocate the ECEP program to the first floor and the second floor would accommodate a new community partnership program at Trinity Cathedral. This program would bring multiple non-profit groups together in one facility, all engaged in a collaboration of civic, parish and diocesan community outreach.

Moving ECEP into renovated Spring St. buildings is undoubtedly a bold, sweeping move, but one that solves multiple programmatic issues at one time and is a necessary first step in the overall master plan sequence. The Early Childhood Education Program (ECEP) occupies space on the first and second floors of Parish House and the entirety of Lyman Annex. Classrooms spread among multiple buildings and multiple entrances create an in-cohesive feel to the program, reduce operational efficiency, and increases security risks for children. This layout has also created unintended consequences for

the other parish programs on campus. Catechesis, church nurseries and choir are unable to grow or thrive because of the lack of square footage in which to do so. Additionally, a much-needed restroom expansion and additional meeting spaces cannot occur without a substantial square footage allotment.

1b. Harrison House is envisioned as the "Trinity Episcopal Hospitality House". Groups such as Episcopal Service Corps, AmeriCorps, or visiting clergy could be hosted here. Renovations are already underway at Harrison House. Future upgrades may include a new ADA ramp and kitchen and bathroom renovations.





Spring St. Mixed Use Project, Architect's Illustration

PHASE 2 - PARISH PROGRAMS

Phase 2a addresses several parish program needs in Parish House once ECEP is moved to Spring Street. On level one, two classrooms become available for a baby nursery, toddlers nursery and additional storage space. The remaining classroom on level one are made available to the Catechesis program. The most significant renovation in phase 2 will be the expansion of restroom space. This expansion includes a family restroom, a mothers nursing room and gang toilets for men and women. The Mathew 25 program can use the basement level as a workroom and storage.

On level two, interior renovations are made for the expansion of the choir program. Currently, the choir has a single room for practice, robe storage and vesting, instrument storage and music library storage. The master plan proposes that one large room is created with a capacity for fifty choir members. The current choir room is used as a second rehearsal space and for bells rehearsal. Additionally, a separate room is created with storage for robes and the choir’s historic sheet music library.

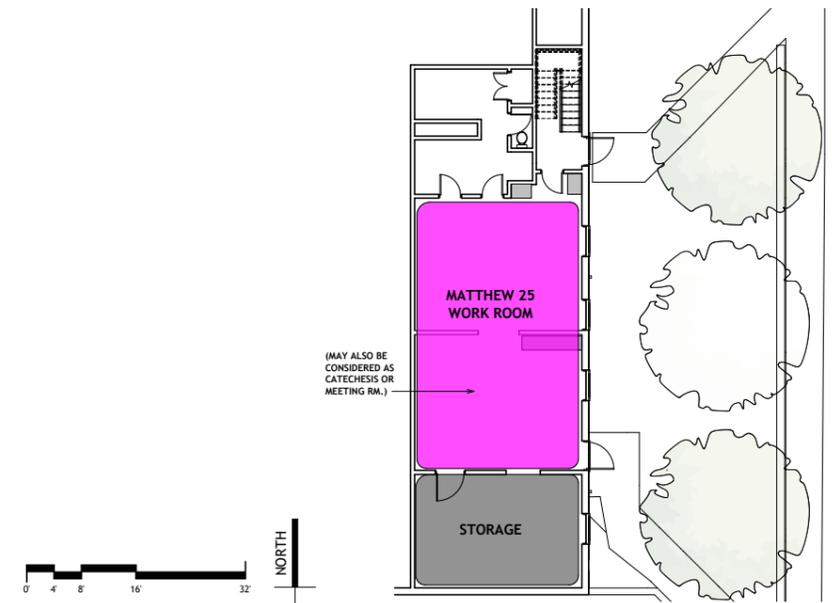
Phase 2b addresses accessibility concerns in Parish house with a remodel and addition of a new stair and elevator tower. The church can consider the optional open-air link to the sanctuary from this elevator for additional accessibility if desired.



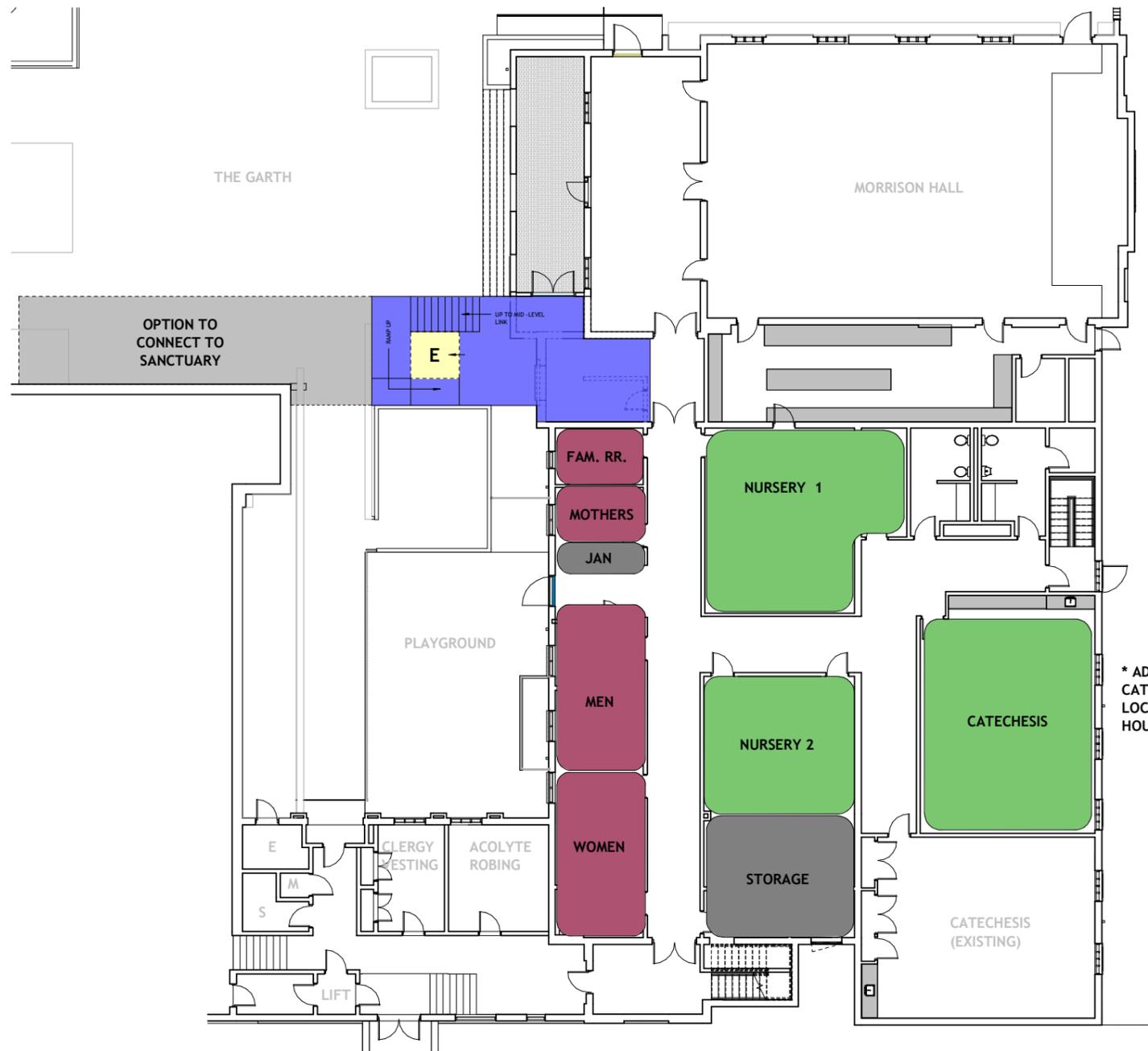
Existing Parish Childrens Room



Existing Parish Single Restroom

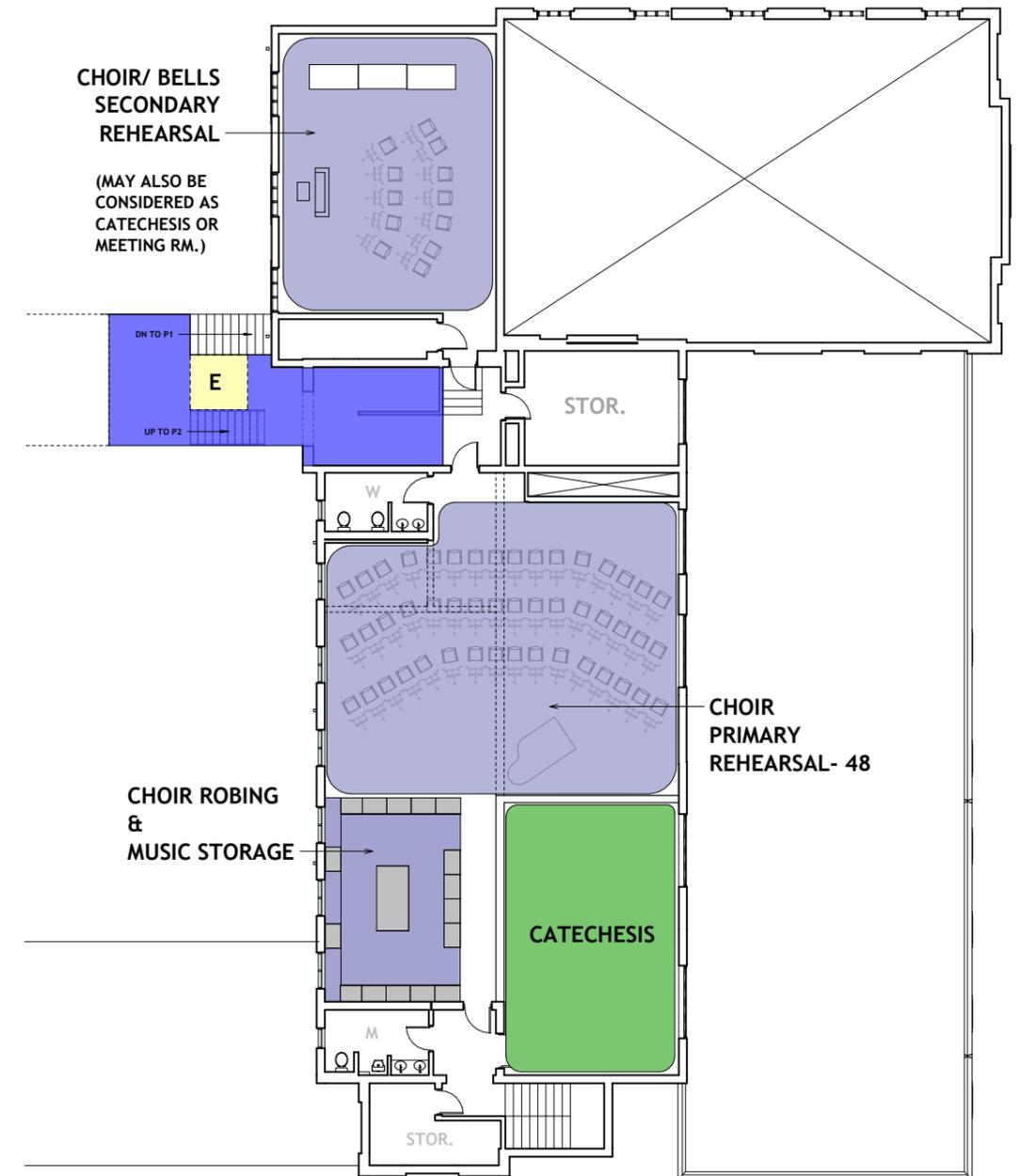


Lower Floor Parish House

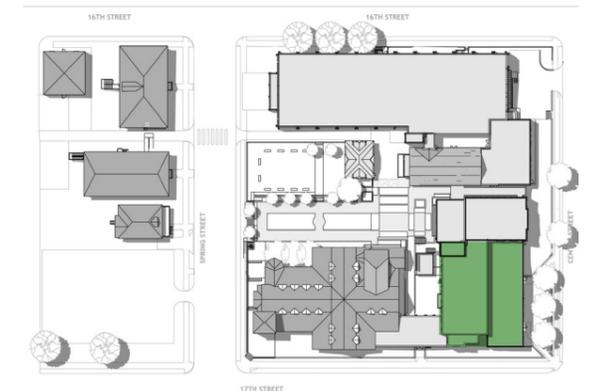


First Floor Parish House

* ADDITIONAL CATECHESIS ROOM(S) LOCATED IN PARISH HOUSE LEVEL 2



Second Floor Parish House



PHASE 3 - SHARED SPACES

PHASE 3

3a. Phase 3a moves to focus on the renovation of spaces that can be used by the parish and diocese but also be an income producing asset when used by the community. The most significant of these spaces is Chancellor's Hall gymnasium, which is envisioned as a multi-use space. It would be designed with the flexibility to host large seminar meetings or banquets, but still function when needed as a gymnasium for ECEP, parish and community youth groups. Upgrades in this space would include a new poured rubber sports floor, new ceiling, lighting and paint. A movable wall may be considered for the added flexibility of two spaces. In addition to the gym, the cafeteria is proposed to be renovated into a seminar space for meetings of up to 50 people. The adjacent restrooms would need renovation, along with any upgrades that may be needed in the kitchen.

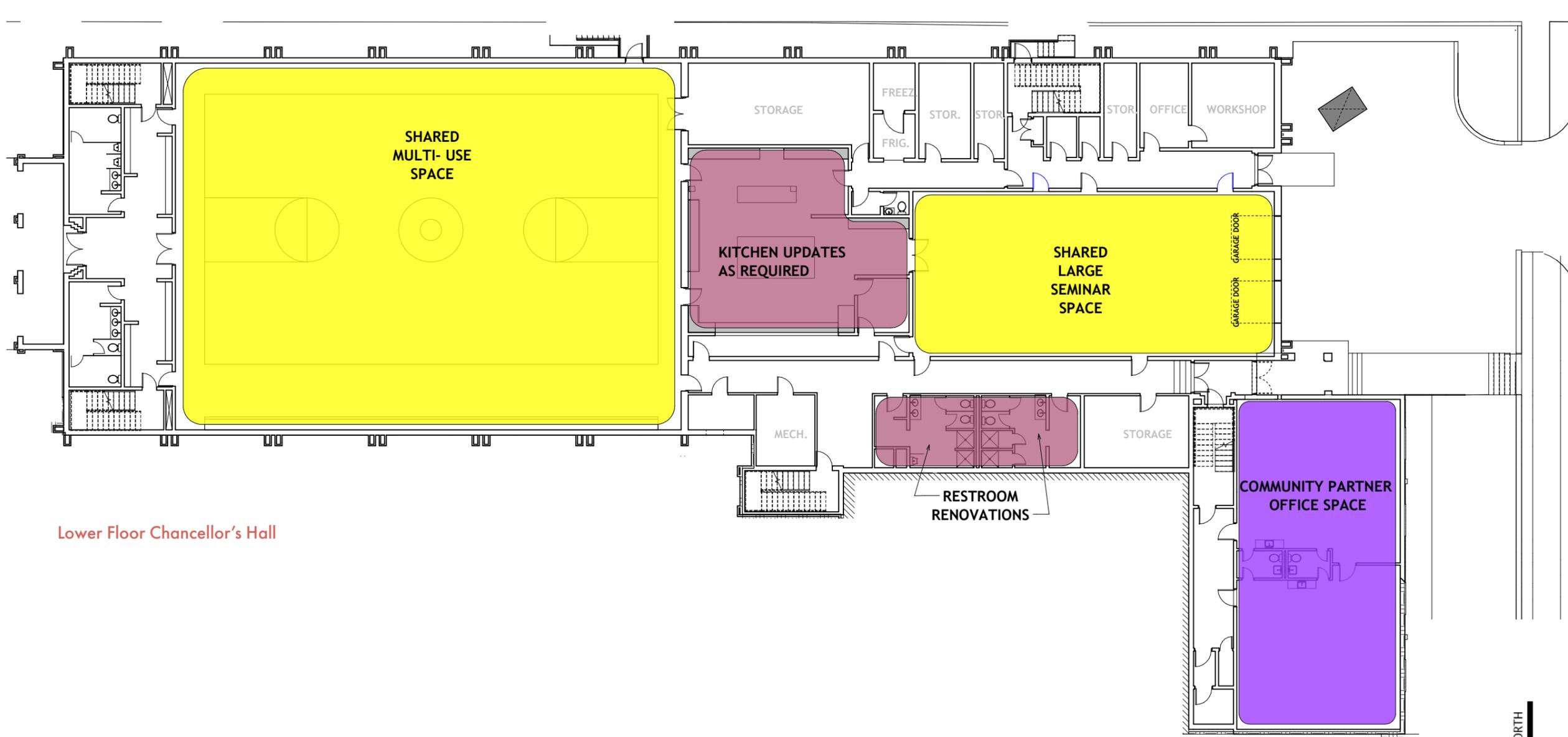
3b. Phase 3b would address any upgrades that may be needed in the lower level of Lyman Annex to accommodate community partnership programs. These renovations are anticipated to be minimal.



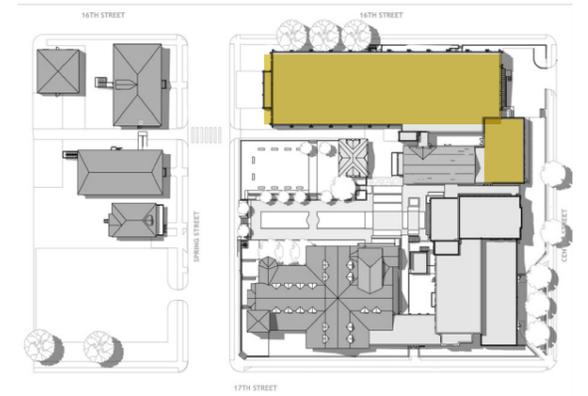
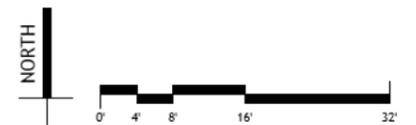
Existing Chancellor's Gymnasium



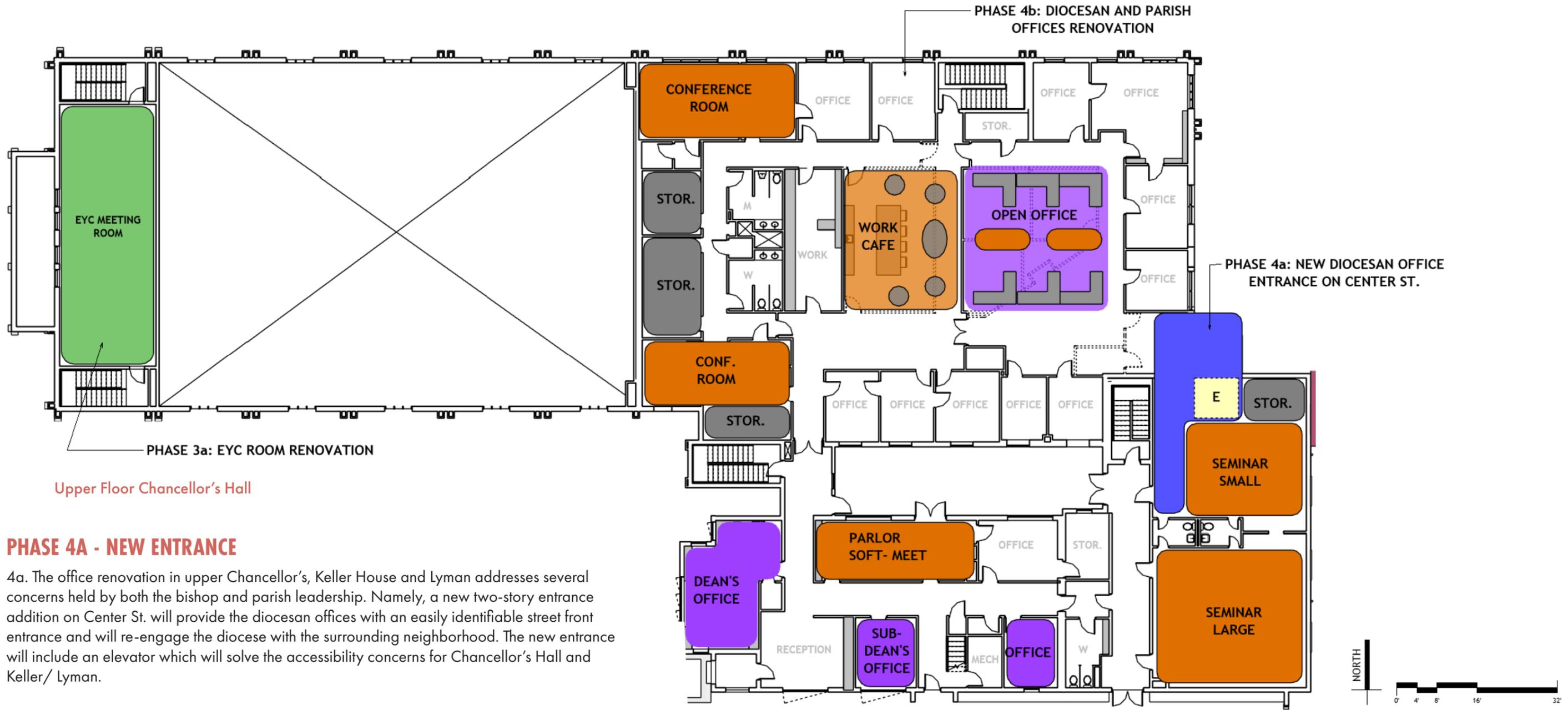
Existing Chancellor's Kitchen



Lower Floor Chancellors Hall



PHASE 4 - DIOCESAN OFFICE RENOVATION + NEW ENTRY



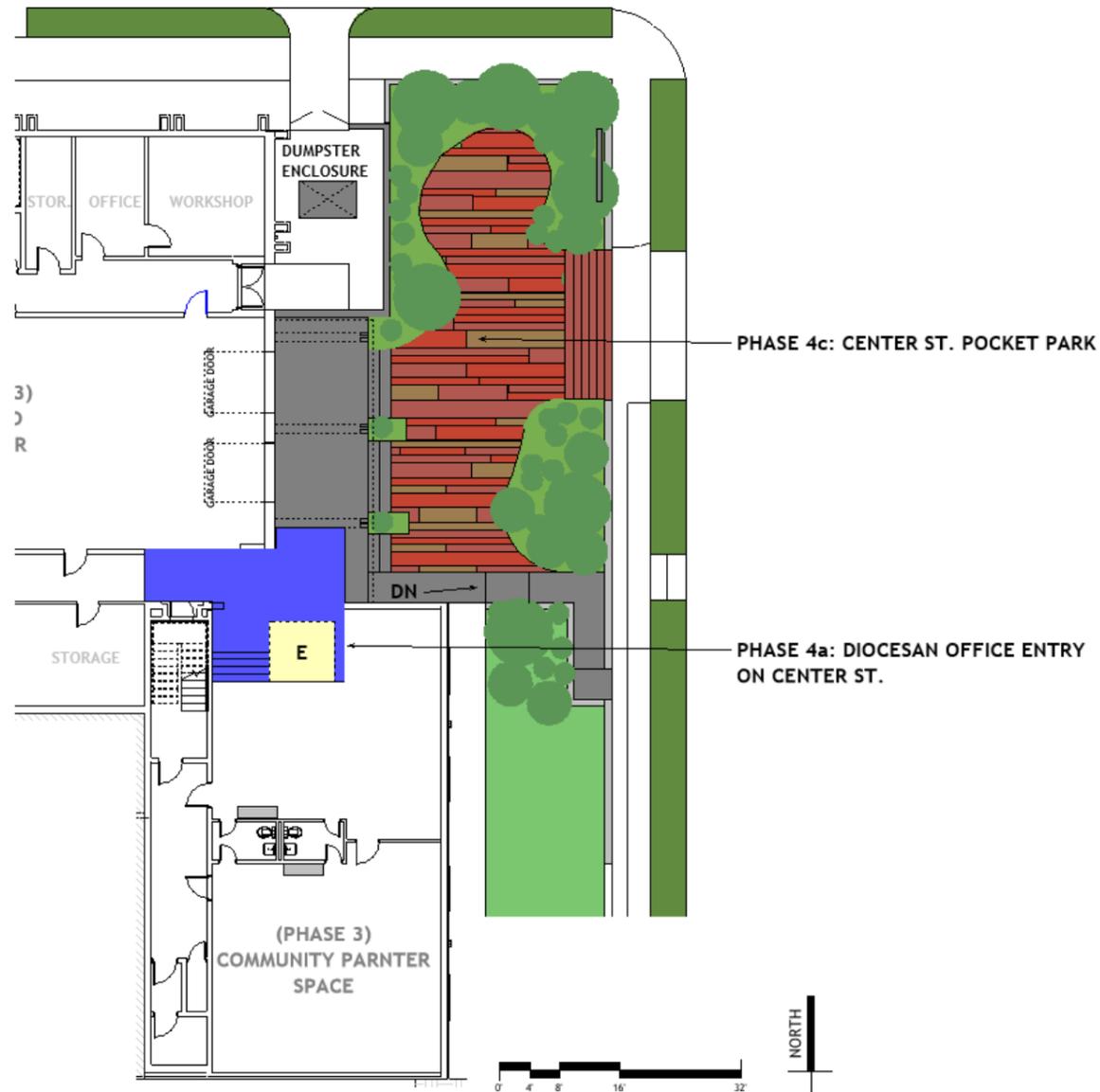
Upper Floor Chancellor's Hall

PHASE 4A - NEW ENTRANCE

4a. The office renovation in upper Chancellor's, Keller House and Lyman addresses several concerns held by both the bishop and parish leadership. Namely, a new two-story entrance addition on Center St. will provide the diocesan offices with an easily identifiable street front entrance and will re-engage the diocese with the surrounding neighborhood. The new entrance will include an elevator which will solve the accessibility concerns for Chancellor's Hall and Keller/ Lyman.

PHASE 4B - OFFICE RENOVATION

4b. Renovations made to the office areas include moving parish offices into Keller House for greater visibility and accessibility to the parish. Additionally, some spaces are combined or remodeled to create a variety in type and size of meeting spaces, including a work café, conference rooms, and small and large seminar rooms. The diocesan office can expand and be reconfigured to accommodate some open office area.

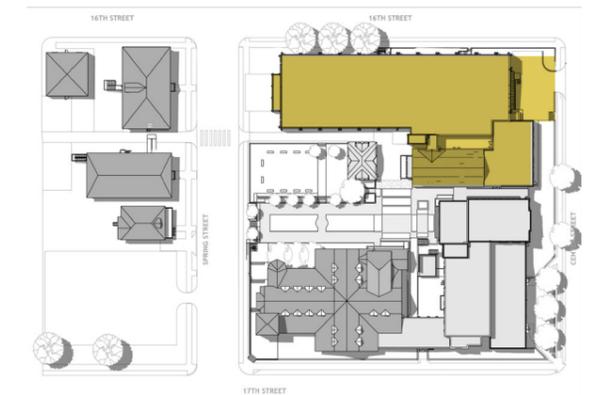


Pocket Park Illustration

Pocket Park

PHASE 4C - POCKET PARK

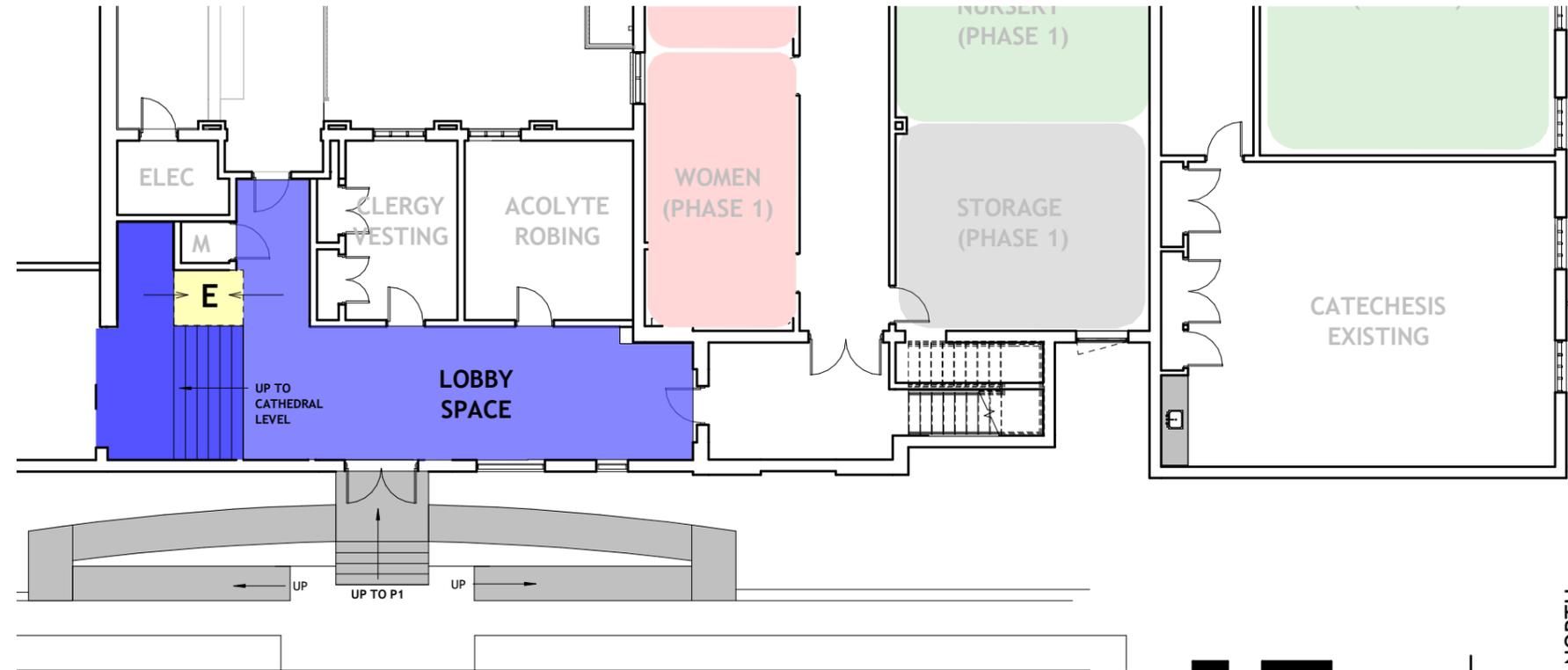
4c. With a new entrance on the corner of 16th and Center St., Trinity now has an opportunity to go a step further in the vision for outreach and hospitality. This step proposes to redesign the parking lot and dumpster area into a pocket park for community, parish and diocesan use. The beauty of the Trinity campus is as much due to its outdoor spaces as it is to its architecture. This pocket park will continue that legacy on Center St. with a focus on neighborhood outreach.



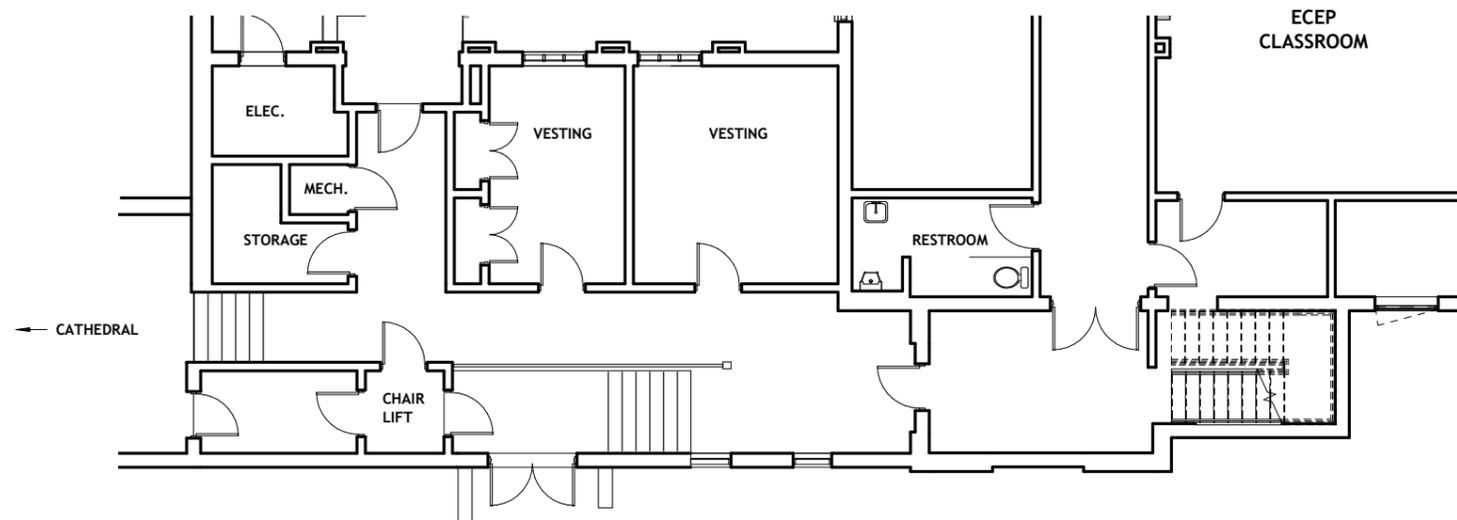
PHASE 5 - ACCESSIBILITY

PHASE 5A - DEAN'S HALL

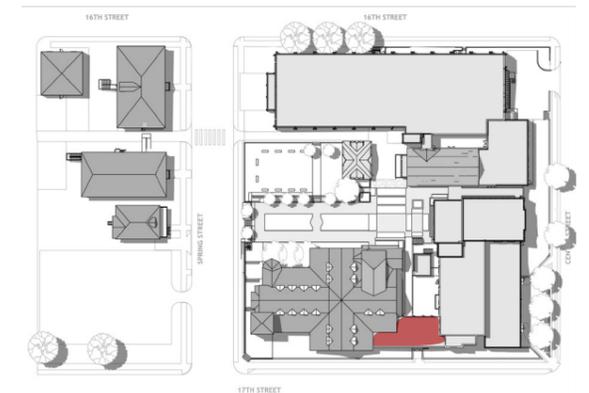
Phase 5 focuses on improving accessibility across the Trinity Campus. Regrettably, the most sacred spaces on campus, the cathedral, the garth and Treadway Garden all suffer from poor accessibility. For the cathedral, it would be almost impossible to alter the main entry to allow for wheelchair access. Therefore, phase 5a proposes modifications to Dean's Hall which would create a more dignified entrance for mobility-impaired individuals. The proposal the layout of Dean's Hall to create a large open pre-function area for Cathedral programs.



Dean's Hall



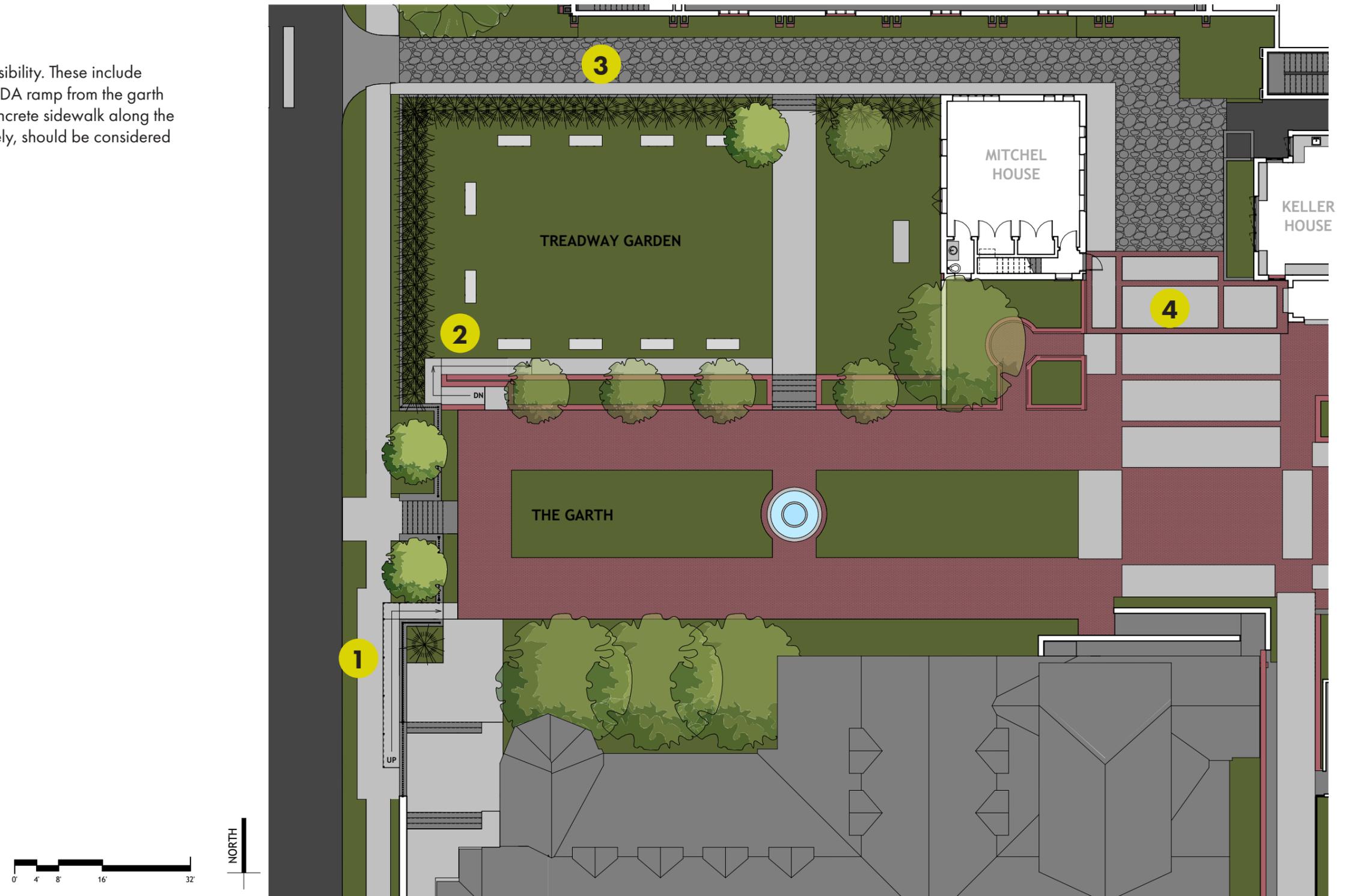
Dean's Hall Original Plan



PHASE 5B - SITE ACCESSIBILITY

Phase 5b proposes simple site improvements for accessibility. These include an ADA ramp from Spring St. up to the garth and an ADA ramp from the garth down to Treadway Garden. Additionally, adding a concrete sidewalk along the cobblestone drive, or removing the cobblestones entirely, should be considered to address safety and accessibility concerns.

1. Ramp up from Spring St. to Garth
2. Ramp down from the Garth to Treadway Garden
3. Add sidewalk along Cobblestone Drive
4. Replace portion of cobblestone with new paving



Garth Siteplan

PHASE 6 - MORRISON HALL

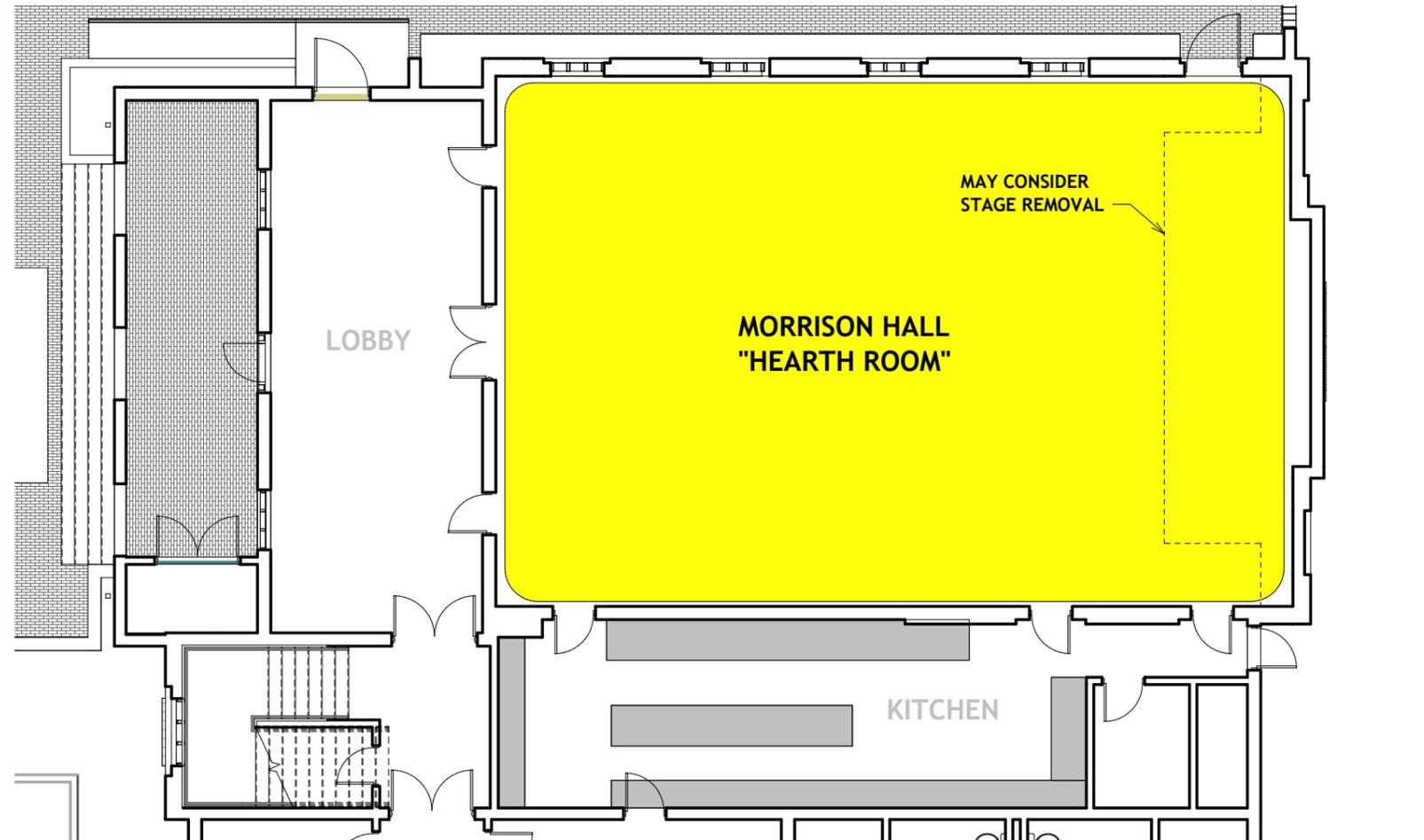
PHASE 6 - HEARTH ROOM

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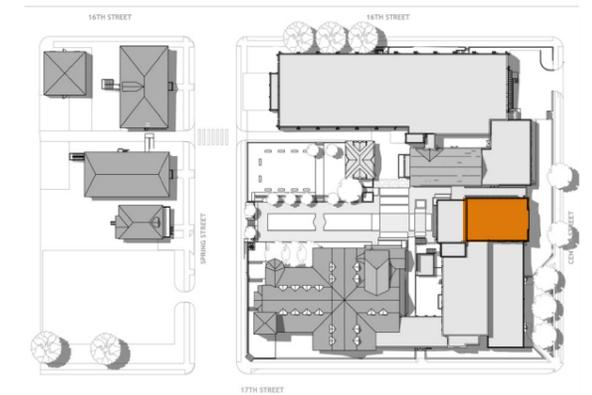
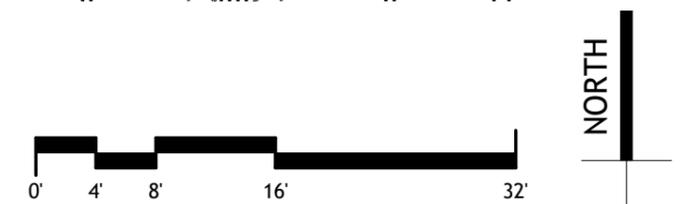
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Existing Morrison Hall



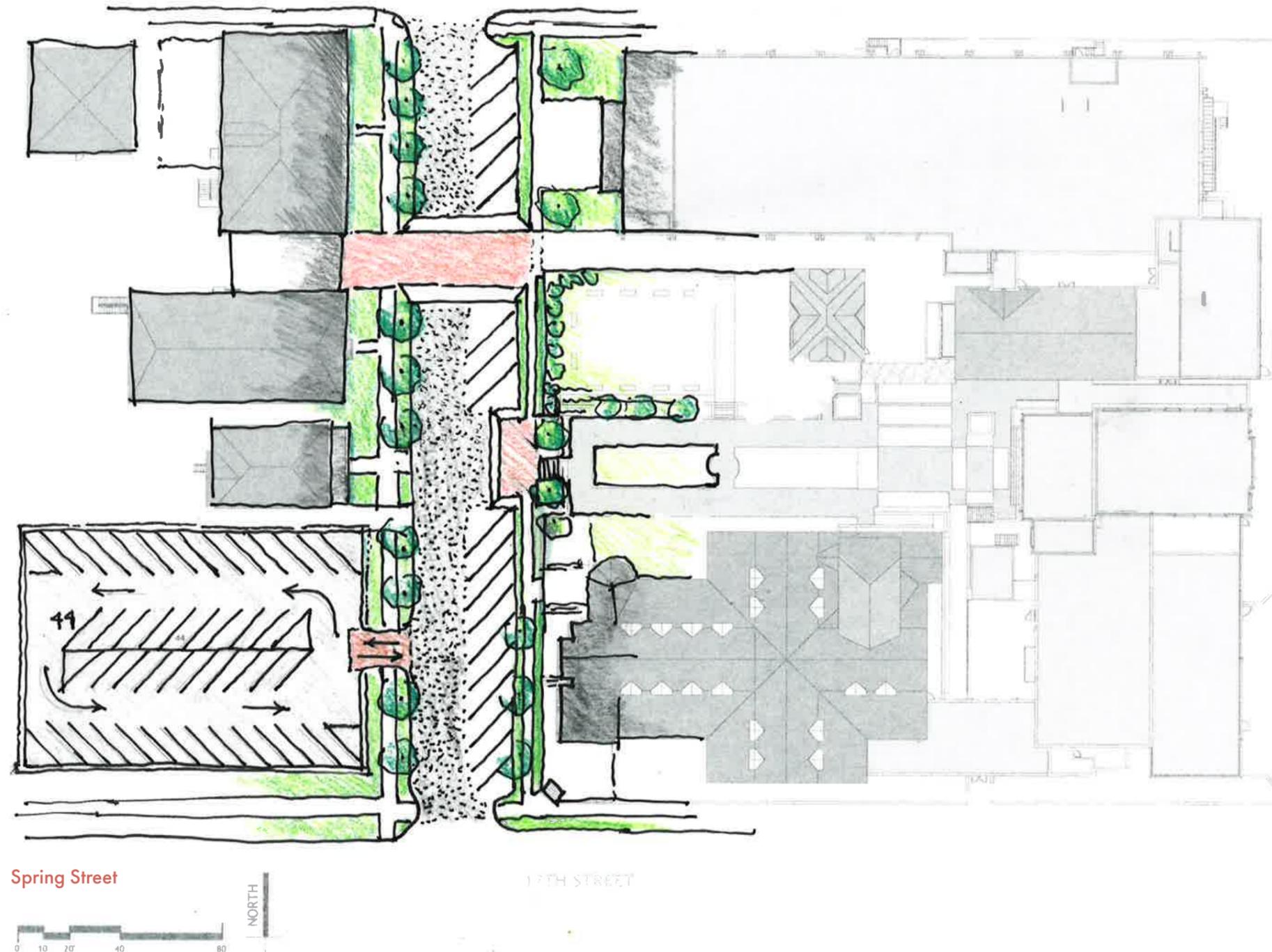
Morrison Hall "Hearth Room"



PHASE 7 - SPRING STREET IMPROVEMENTS

PHASE 7

This final phase is meant to unify the Trinity Campus on both sides of Spring Street by creating better pedestrian connection. A pedestrian “table” is added leading from the Spring St. buildings to the main campus. At the Garth entrance, the curb is modified to a “zero curb” for wheelchair access. Other improvements may include, streetscaping, lighting and decorative paving along the drive lane of Spring St.

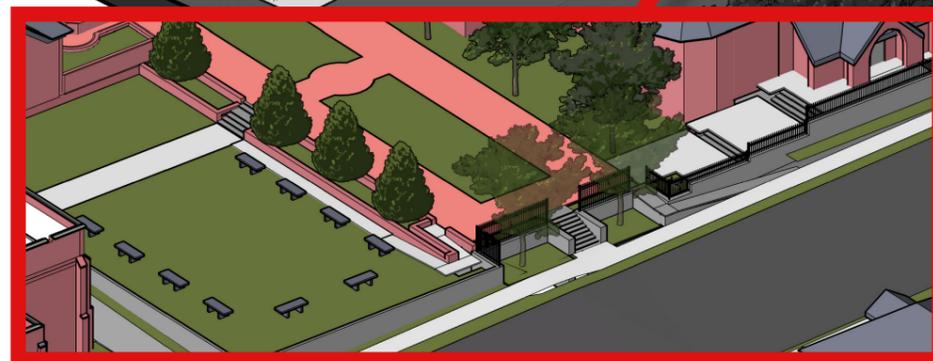
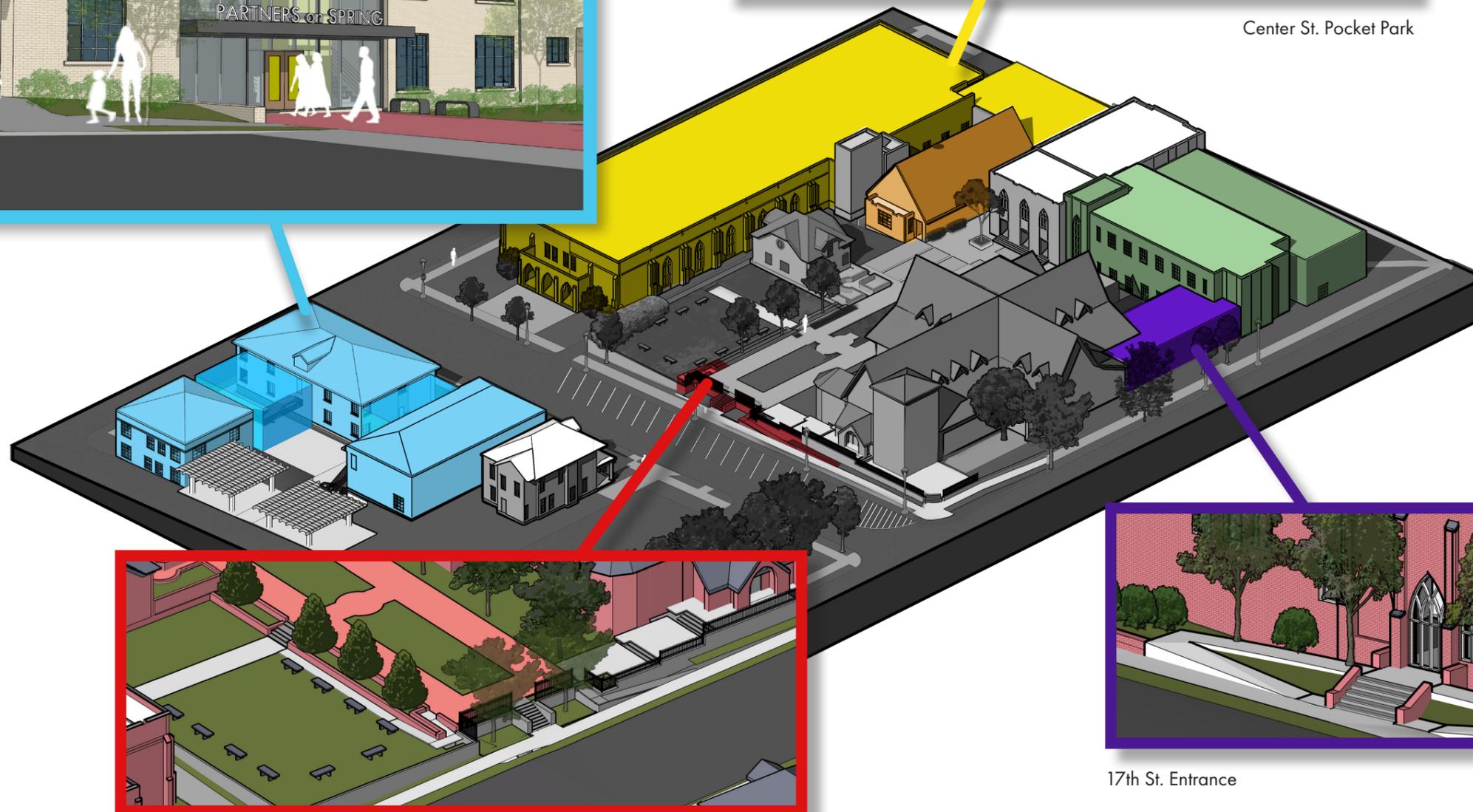




Hodges & Higgins Hall



Center St. Pocket Park



Garth Ramp Accessibility



17th St. Entrance

SPECIAL THANKS TO:

The Very Reverend Amy Dafler Meaux
Dean and Rector of Trinity Episcopal Cathedral

The Rite Reverend Larry Benefield
Bishop, Episcopal Diocese of Arkansas

Trinity Episcopal Building Committee members:

Mary Penick Hodges, Parish Administrator

Jack Dowling, Communications Officer

Tom Fennell

Tommy Jameson

Susan Borne

Rett Tucker

Richard Steinkamp

Porter Brownlee

Trinity Episcopal Ministry Vision Committee members:

The Rev. Canon Dr. Lisa Cory, Sub-Dean

The Rev. Deb Cooper, Deacon

Christy Poindexter, Director - ECEP

John Milwee

Clark Tucker

Mary Margaret Wippo

Steve Bethel

Mary Starr Brock

Marvin McLennon

Sybil Hampton

Individuals and groups who provided their valuable input:

Dr. Colin McKnight, Director of Music

Dawn Howe, Assistant to the Assoc. for

Connection & Engagement

The Rev. Susan Payne, Priest Associate

Catechesis Teachers

Mathew 25 Committee

The Flower Guild

Choir members

Past Junior & Senior Wardens

ECEP Board of Directors

Liturgy and Worship Committee

